

THE DEPARTMENT OF FINANCE
TEMPORARY TRANSITION AREA
2314 KRONPRINDSENS GADE
KRONPRINDSENS QUARTER
ST. THOMAS, U.S. VIRGIN ISLANDS

ABBREVIATIONS

Acoustic	ACST or ACOUST	On center	OC
Above finished floor	AFF	Opening	OPG
Aluminum	AL or ALUM	Opposite	OPP
Architect	ARCH	Partition	PTN
Average	AVG	Plate	PL
Beam	BM	Plastic laminate	PL LAM
Board	BRD	Plumbing	PLBG
Brace	BR	Plywood	PLY
Bronze	BRZ	Quantity	QTY
Building	BLDG	Quarry title	QT
Cabinet	CAB	Radius	R or RAD.
Ceiling	CLG	Reference	REF
Center line	CL	Reinforce	REINF
Centimeter	CM	Remove	RMV
Ceramic	CER	Required	REQD
Clear	CLR	Revision	REV
Cold Water	CW	Riser	R
Column	COL	Specification	SPEC
Concrete	CONC	Square	SQ
Concrete Masonry Unit	CMU	Rough	RGH
Construction	CONST	Schedule	SCH
Continuous	CONT	Section	SECT
Contractor	CONTR	Stainless steel	S ST
Demolition	DEMO	Standard	STD
Detail	DET	Steel	ST or STL
Diameter	DIA	Structural	STRL
Dimension	DIM	Suspended	SUSP
Door	DR	System	SYS
Down	DN	Telephone	TEL
Drawing	DWG	Temperature	TEMP
Drinking fountain	DF	Tongue and groove	T&G
Each	EA or Ea.	Tread	TR
Electric	ELEC	Typical	TYP
Electric water	EW	Unfinished	UNF
Equal	EQL or EQ	Urinal	UR
Equipment	EQUIP	Vent through roof	VTR
Estimate	EST	Verify in the field	VIF
Existing	EXIST	Vertical	VERT
Exterior	EXT	Vinyl tile	VTILE or V.T.
Fabricate	FAB	Wainscot	WCT
Feet	FT.	Water closet	WC
Finish	FIN	Water proof	WP or WTRPRF
Finished	FIND	Weight	WT
Fireproof	FP	Width	W
Floor	FL	With	W/
Fluorescent	FLUOR	Without	W/O
Full size	FS	Wood	WD
Furnished	FURN	Wrought iron	WI
Gauge	GA		
General	GEN		
Glass	GL		
Floor Drain	F.D.		
Gypsum board	GYPBD		
Hardware	HDW		
Hardwood	HDWD		
Height	HT or HGT		
Hollow core	HC		
Horizontal Inch	HOR or HORIZ		
Hot water Insulation	HW		
Interior	INT		
Junction box	J-BOX ORJB		
Lavatory	LAV		
Light	LT		
Lighting	LTG		
Linear	L		
Manufacture	MFR		
Manufactured	MFD		
Marble	MAR		
Masonry	MAS		
Masonry opening	MO		
Material	MTL		
Maximum	MAX		
Mechanical	MECH		
Meter	M		
Minimum	MIN		
Miscellaneous	MISC		
Mullion	MULL		
Natural	NAT		
Nominal	NOM		
Not in contract	NIC		
Not to scale	NIS		
Number	NO or #		

ARCHITECT

ENGINEER

SURVEY OF

CONSULTANT

THE deJONGH GROUP P.C.
ARCHITECTS AND PLANNERS
2200 ESTATE STAABI
ST. THOMAS, USVI 00802

CODE REQUIREMENTS:

THESE DOCUMENTS ARE BASED ON THE
FOLLOWING CODES:

V.I. BUILDING CODE
INTERNATIONAL BUILDING CODE 2003
NFPA LIFE SAFETY CODE 101-2000
ADA GUIDELINES, 28 CFR PART 36
ADAAG - LATEST ADDITION
STANDARD 45 CFR 1304

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
2. CONTRACTOR SHALL FURNISH & PLACE ALL SUPPORTS, TEMPORARY & PERMANENT.
3. CO-ORDINATE ALL STRUCTURAL WORK WITH ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR VERIFICATION OF LOCATIONS & DIMENSIONS OF CHASE INSERTS, OPENINGS, SLEEVES, DRIPS, DAMP-PROOFING, CURBS & OTHER PROJECT REQUIREMENTS.
4. ALL SHOP DRAWINGS SHALL BE SUBMITTED IN ACCORDANCE WITH SPECIFICATIONS.
5. THE CONTRACTOR SHALL USE ONLY APPROVED SHOP DRAWINGS FOR ERECTION IN THE FIELD AS STAMPED BY THE ARCHITECT &/OR THE ENGINEER.
6. UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.

CONCRETE

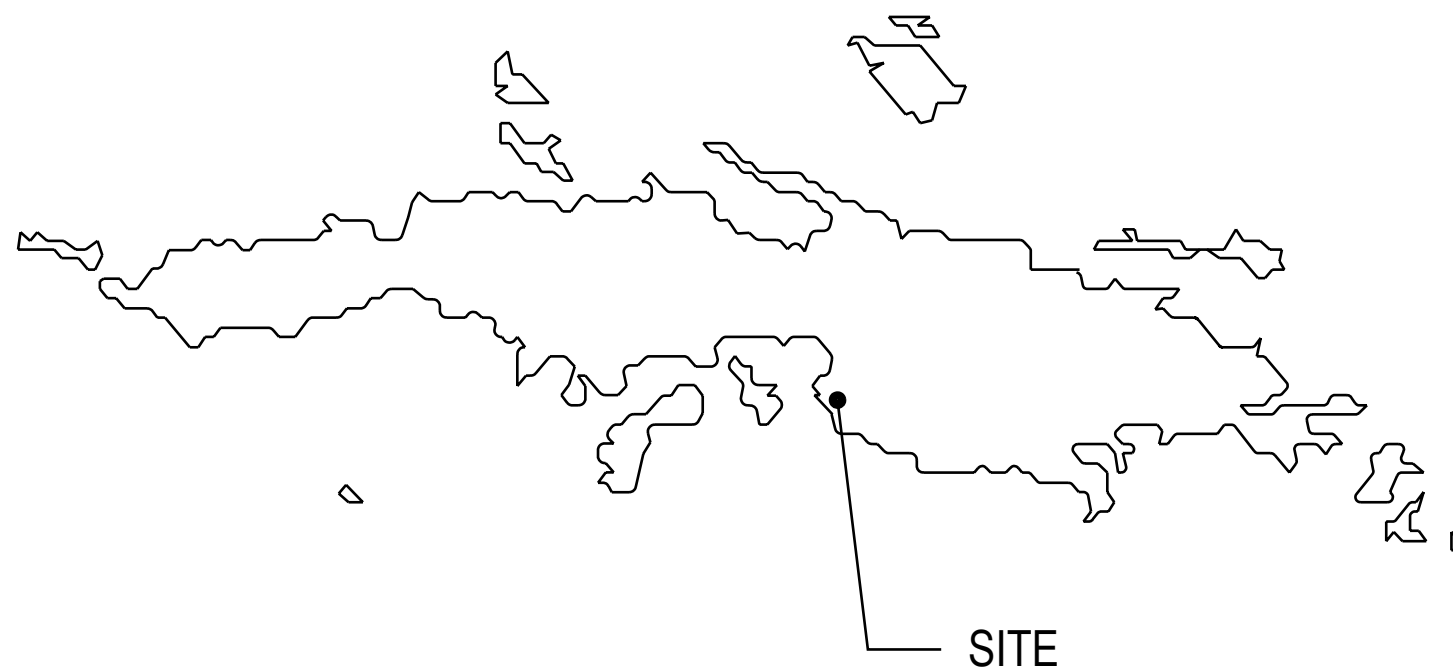
1. ALL CONCRETE WORK & REINFORCING BAR DETAILS SHALL CONFORM TO THE LATEST A.C.I. CODE.
2. ALL CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I.
3. REINFORCING SHALL BE STANDARD HIGH BOND DEFORMED BARS & SHALL BE INTERMEDIATE GRADE, NEW BILLET STEEL MEETING A.S.T.M. 615 SPECIFICATIONS, GRADE 60.
4. REINFORCING BARS SHALL BE PLASTIC COATED.
5. CLEAR COVER TO MAIN REINFORCING BARS SHALL BE :
 - A. WHERE UNFORMED FACE OF CONCRETE IS IN CONTACT WITH SUBGRADE, 3" EXCEPT SLABS & TROWELLED TOPS OF FOOTINGS, 1 1/2". #5 BARS OR LESS.
 - B. WHERE FORMED FACE OF CONCRETE IS IN CONTACT WITH BACKFILL OR EXPOSED TO THE WEATHER, 1 1/2". #5 BARS OR LESS.
 - C. AT INTERIOR, EXPOSED FACES OF WALL 1".
 - D. IN SLAB AT TOP FACE, 3/4".
 - E. BEAMS & COLUMNS, 1 1/2".
6. ALL CONTINUOUS REINFORCING BARS SHALL BE LAPPED 30 DIAMETERS AT SPLICES & AT CORNERS, UNLESS SHOWN OTHERWISE.
7. CONTRACTOR SHALL REFER TO SPECIFICATIONS.

MASONRY

1. ALL MASONRY WORK SHALL CONFORM TO THE LATEST "AMERICAN STANDARD BUILDING CODE REQUIREMENTS FOR MASONRY".
2. ALL CONCRETE BLOCK SHALL BE LOAD BEARING CONCRETE MASONRY UNITS, CONFORMING TO A.S.T.M. C 90, WITH A MINIMUM COMPRESSIVE STRENGTH, ON NET AREA, OF 1,500 P.S.I.
3. MORTAR FOR MASONRY UNITS SHALL BE TYPE S CONFORMING TO A.S.T.M. C 270. MASONRY SHALL BE REINFORCED AS SHOWN ON DRAWINGS.
5. GROUT SHALL BE FINE GROUT CONFORMING TO A.S.T.M. C 476 & SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 2,000 P.S.I.
6. HIGH LIFT GROUT, IF USED, SHALL NOT BE PLACED UNTIL THE ENTIRE WALL HAS REACHED AN AGE OF 3 DAYS.

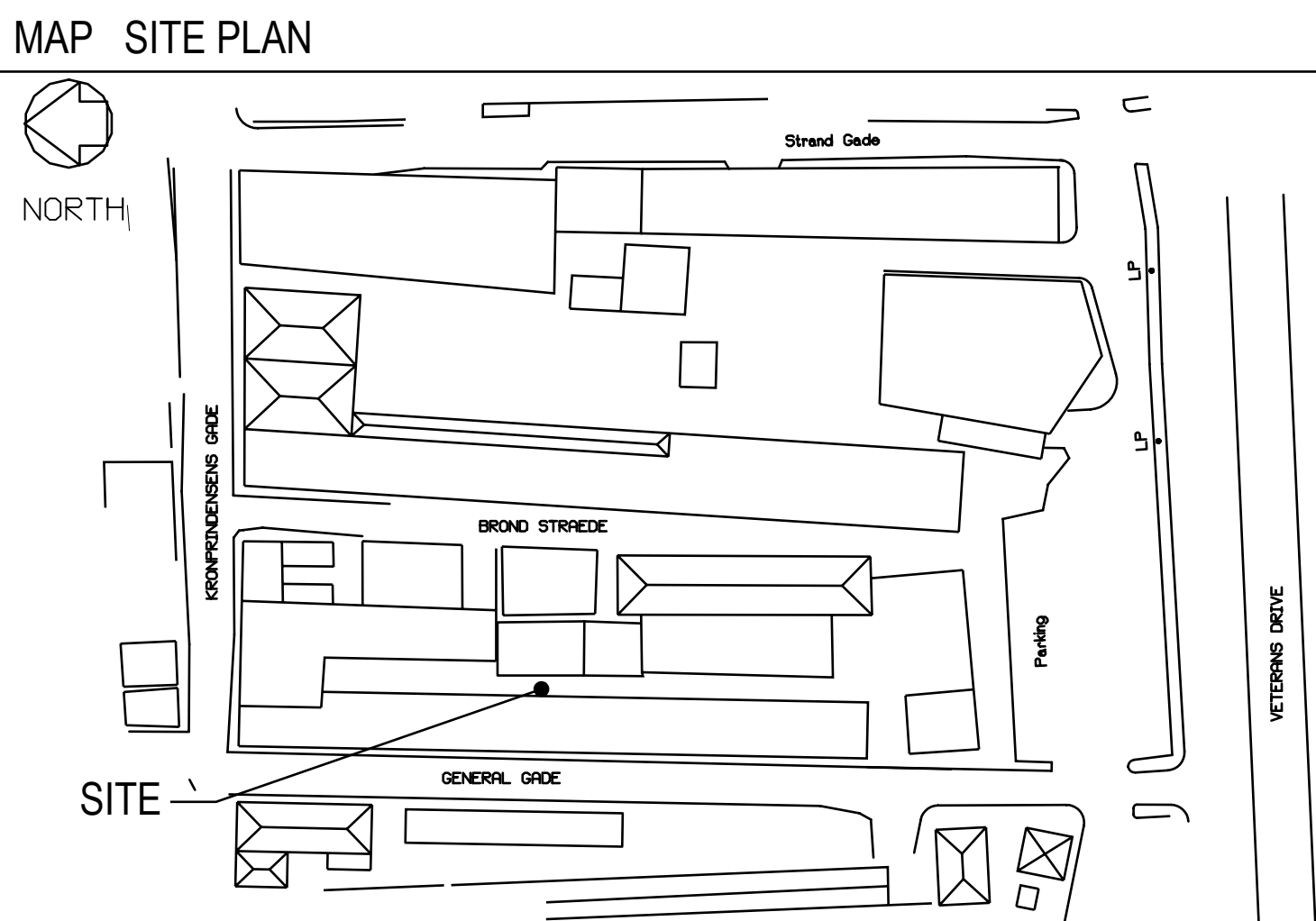
LUMBER

1. FRAMING LUMBER SHALL COMPLY TO NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER & ITS FASTENING, LATEST EDITION, AMENDED TO DATE.
 2. FRAMING LUMBER SHALL BE PROTECTED FROM LONG EXPOSURE TO THE WEATHER.
 3. FRAMING LUMBER SHALL BE #2 MIN. KILN DRIED & TREATED SOUTHERN YELLOW PINE OR EQUIVALENT HAVING A MIN. ALLOWABLE REPETITIVE BENDING STRESS $F_b = 1,200$ P.S.I. THE VARIOUS JOINTS, NAILS, TIES, SCREWS ETC. SHALL BE GALVANIZED.
- THE VARIOUS PORTIONS OF THE STRUCTURE ARE DESIGNED TO CARRY THE FOLLOWING LIVE LOADS:
- | | |
|------------------------|--------------------------------------|
| DESIGN WIND SPEED | 150 M.P.H. |
| SLOPING ROOF | 36 P.S.F. NET UPLIFT |
| WALLS (PRIMARY FRAMES) | 40 P.S.F. INWARD & 26 P.S.F. OUTWARD |
| FLOORS | 40 P.S.F. |



MAP OF ISLAND

ST THOMAS



MAP SITE LOCATION

DRAWING LIST

COVER SHEET

[illegible]

DRAWINGS

D1.00	DEMOLITION NOTES
D1.01	FIRST FLOOR DEMOLITION PLAN
D2.01	DEMOLITION AND PROPOSED WEST ELEVATION AND INTERIOR RESTROOM 2 ELEVATION
A1.01	PROPOSED FIRST FLOOR PLAN
A2.01	INTERIOR, DOOR, AND WINDOW SCHEDULES & DOOR ELEVATIONS
A2.02	CEILING DETAILS
A2.03	WALL TYPES & DETAILS
A3.01	PROPOSED ROOF PLAN
A3.02	ROOF PLAN OVER RESTROOM #3 BLDG. F
A4.01	INTERIOR RESTROOM ELEVATIONS
A4.02	SECTION A-A
A5.01	RAMP 1 FLOOR, FOUNDATION, SLAB PLANS AND DETAILS
A5.02	RAMPS 2 & 3 FLOOR, FOUNDATION, SLAB PLANS AND DETAILS
A5.03	RAMP 4 FLOOR, FOUNDATION, SLAB PLANS AND DETAILS
A6.01	REFLECTED CEILING PLAN
A7.01	PROPOSED FIRST FLOOR FURNITURE LAYOUT

STRUCTURAL DRAWINGS

S1.01	PROPOSED FIRST FLOOR STRUCTURAL SLAB PLAN
S1.02	BUILDING F FOUNDATION, FLOOR FRAMING & SLAB PLAN
S1.03	BUILDING F FIRST FLOOR DETAILS

MEP DRAWINGS

E1.01	FIRST FLOOR LIGHTING PLAN
E2.01	PROPOSED FIRST FLOOR POWER PLAN
P1.01	PROPOSED FIRST FLOOR PLUMBING PLAN
	PLUMBING DIAGRAM & NOTES
M1.01	PROPOSED FIRST FLOOR AIR CONDITION LAYOUT
M2.01	AIR CONDITION CONDENSING UNIT AND RACK DETAILS
M2.02	AIR CONDITION DETAILS AND NOTES
FE1.01	FIRE SAFETY LAYOUT



THE
DEJONGH GROUP, PC
 ARCHITECTURE • PLANNING • DESIGN

The Department of Finance
Temporary Transition Area

Kronprindsens Quarter
St. Thomas, U.S.V.I. 00802

ISSUE FOR BID

COVER SHEET

REVISIONS

DRAWN BY

CHECKED BY: D. deJongh

DATE: 05/01/2018

JOB NO: 2017.

G1.00

GENERAL NOTES

A. GENERAL :

1. ALL CONSTRUCTION SHALL CONFORM TO THE 2012 INTERNATIONAL BUILDING CODE UNLESS MORE STRINGENT REQUIREMENTS ARE REQUIRED IN THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL CONDITIONS, ELEVATIONS AND DIMENSIONS BEFORE STARTING WORK. THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
3. THE CONTRACTOR SHALL INFORM THE ARCHITECT AND ENGINEER IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY BRACES, SHORES AND GUYS, WHEREVER NECESSARY TO SUPPORT ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED DURING CONSTRUCTION, INCLUDING ERECTION OF EQUIPMENT AND ITS OPERATION. THIS TEMPORARY SUPPORT SYSTEM SHALL HOLD ALL ELEMENTS AND MEMBERS IN THEIR FINAL POSITION UNTIL TOTALLY AND FINALLY CONNECTED TO THE PERMANENT BRACING ELEMENTS.
6. THE TYPICAL NOTES AND DETAILS SHALL APPLY IN ALL CASES UNLESS SPECIFIC DETAILS OCCUR ELSEWHERE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS FOR SIMILAR WORK.
7. REQUIRED INSPECTIONS BY VIRGIN ISLANDS DEPARTMENT OF PLANNING AND NATURAL RESOURCES (BUILDING DEPARTMENT):

a. FOUNDATIONS

b. CONCRETE

c. MASONRY
- B. CONCRETE:
1. CONCRETE WORK SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318- LATEST REVSION).
2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS EQUAL TO OR GREATER THAN 4,000 PSI.
3. CONTINUOUS INSPECTION REQUIRED FOR ALL CONCRETE. INSPECTION BY BUILDING INSPECTOR REQUIRED FOR PLACEMENT OF REINFORCING STEEL PRIOR TO PLACING CONCRETE. CONTINUOUS INSPECTION IS NOT REQUIRED DURING PLACING CONCRETE OR REINFORCING.
4. ALL CONCRETE SHALL BE NORMAL WEIGHT (145 PCF) UNLESS NOTED AS LIGHTWEIGHT CONCRETE.
5. PORTLAND CEMENT: ASTM C150, TYPE I OR TYPE II, LOW ALKALI.
6. CONCRETE AGGREGATE SHALL CONFORM TO ASTM C33 WITH THE FOLLOWING NOMINAL LIMITATIONS:

a. FOOTINGS AND SLABS ON GRADE, 1 TO 1-1/4 INCH MAXIMUM.

b. WALLS AND STRUCTURAL SLABS, 3/4 INCH MAXIMUM.
7. CONCRETE STRENGTH MIX DESIGN SHALL BE DOCUMENTED BY NEW OR EXISTING TEST REPORTS FROM APPROVED LICENSED TESTING LABORATORIES PRIOR TO BATCHING.
8. EXPOSED CONCRETE FORMING AND FINISH SHALL BE AS NOTED ON ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
9. PROJECTING CORNERS OF BEAMS, COLUMNS, ETC. SHALL BE FORMED WITH 3/4 INCH CHAMFER, UNLESS OTHERWISE DETAILED.
10. FORMS FOR CONCRETE SHALL BE LAID OUT AND CONSTRUCTED TO PROVIDE THE SPECIFIED CHAMBERS SHOWN ON THE DRAWINGS.
11. SHORING OF STRUCTURAL SLABS:

a. ALL SHORING AND RESHORING SHALL BE DONE IN ACCORDANCE WITH ACI STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK (ACI - 347).

b. ONE HUNDRED PERCENT SHORING AND FORMS SHALL REMAIN IN PLACE FOR 14 DAYS MINIMUM. SHORING MAY BE REDUCED TO 50 PERCENT AFTER 14 DAYS, PROVIDED CONCRETE STRENGTH EQUALS AT LEAST 75 PERCENT OF DESIGN STRENGTH.

c. RESHORES SHALL NOT BE REMOVED IF CONCRETE STRENGTH DOES NOT MEET SPECIFIED STRENGTH AT 28 DAYS.

d. NEWLY PLACED SLABS SHALL NOT BE USED TO SUPPORT SLABS ABOVE UNTIL THE LOWER SLAB HAS CURED FOR 5 DAYS, MINIMUM. SHORING TO SUPPORT UPPER LEVEL SLAB MAY BE PLACED WITHIN THE 5 DAY CURING PERIOD.
12. CONTRACTOR SHALL REFER TO SPECIFICATIONS.

C. MASONRY:

1. CONCRETE BLOCK MASONRY UNITS: ASTM C90, UNIT AREA STRENGHT F'm = 1900 PSI, MEDIUM WEIGHT. MASONRY UNIT COLOR AND FACE TEXTURE AS NOTED ON ARCHITECTURAL DRAWINGS. DESIGN STRENGHT f'm = 1500 PSI.
2. MASONRY UNIT SHALL HAVE BEEN CURED FOR NOT LESS THAN 28 DAYS AND SHALL BE CLIMATIZED TO SITE BEFORE PLACED IN BUILDING.
3. CONTINUOUS INSPECTION IS REQUIRED, UNLESS NOTED OTHERWISE, FOR:

a. PREPARATION AND FORMING OF WALL PRISMS.

b. SAMPLING AND PLACING OF MASONRY UNITS.

c. PLACEMENT OF REINFORCEMENT.

d. GROUT SPACE IMMEDIATELY PRIOR TO CLOSING OF CLEANOUTS AND DURING ALL GROUTING OPERATIONS.
4. ALL MORTAR AND GROUT SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH EQUAL TO 1800 PSI AND 2000 PSI, RESPECTIVELY. ADMIXTURES WHEN USED SHALL BE PER MANUFACTURER'S RECOMMENDATION AND WITH APPROVAL OF THE BUILDING OFFICIAL.
5. PORTLAND CEMENT - ASTM C150, TYPE II, LOW ALKALI.
6. MORTAR MIX - 1:3 WITH 1/4 PART LIME PUTTY, TYPE S.
7. GROUT MIX - 1:3 WITH 2 PARTS PEA GRAVEL.
8. GROUT REQUIREMENTS:

a. GROUT MIX SHALL BE IN ACCORDANCE WITH IBC STANDARDS.
9. GROUT ALL CELLS, UNLESS OTHERWISE NOTED.
10. USE BOND BEAM UNITS AT HORIZONTAL REINFORCING.
11. LOCATE REBARS ABOUT CENTERLINE OF MASONRY WALL UNLESS DETAILED OTHERWISE.
12. ALL WALLS SHALL BE CONSTRUCTED USING 1/2 RUNNING BOND BETWEEN MASONRY, UNLESS OTHERWISE NOTED.
13. ALL WOOD PLATES TO BE BOLTED TO THE TOP OF MASONRY WALLS SHALL BE SET ON A MORTAR BED, TO PROVIDE UNIFORM BEARING.
- D. REINFORCING STEEL FOR CONCRETE AND MASONRY:
1. REINFORCING BARS: ASTM A615, GRADE 60. ALL REINFORCING STEEL THAT IS TO BE WELDED SHALL CONFORM TO ASTM A706, UNLESS OTHERWISE NOTED ON PLANS.
2. WELDED WIRE FABRIC: ASTM A185.
3. WELDING ELECTRODES: AWS D1.4, CLASS E90, LOW HYDROGEN.
4. MINIMUM SPLICE LENGTHS, UNLESS DETAILED OTHERWISE:

a. CONCRETE SEE SCHEDULE ON DRAWING.

b. MASONRY SEE SCHEDULE ON DRAWING.

c. WELDED WIRE FABRIC SHALL BE SPLICED WITH A MINIMUM LAP OF 12 INCHES.
5. MINIMUM CLEARANCE BETWEEN REINFORCING AND FACE OF CONCRETE SHALL BE AS FOLLOWS (UNLESS SHOWN OTHERWISE):

a. CONCRETE BELOW GRADE (CAST AGAINST SOIL) = 3"

b. CONCRETE BELOW GRADE (FORMED) = 2"

c. CONCRETE WALLS EXPOSED TO WEATHER = 2"

d. CONCRETE WALLS, INTERIOR WALLS = 2"

e. CONCRETE SLAB (STRUCTURAL) = 2"

f. CONCRETE BEAMS AND COLUMNS = 2"
6. SPLICES IN COLUMNS AND BEAMS SHALL OCCUR ONLY WHERE DETAILED. SPLICES IN CONTINUOUS GRADE BEAMS SHALL OCCUR AT 1/3 SPAN. CONTACT STRUCTURAL ENGINEER IF CLARIFICATION IS NEEDED.
7. SPLICES IN HORIZONTAL WALL REINFORCEMENT SHALL BE STAGGERED 3'-0" MINIMUM FROM SPLICE CENTERLINE. WHERE WALLS HAVE TWO LAYERS OF REINFORCING, SPLICES SHALL NOT OCCUR IN THE SAME LOCATION.
8. ALL REINFORCING SHALL BE ACCURATELY PLACED AND ADEQUATELY SUPPORTED BEFORE CONCRETE IS PLACED AND SHALL BE SECURED AGAINST DISPLACEMENT WITHIN PERMITTED TOLERANCE. CLEARANCE FOR REBAR SHALL BE SHOWN IN DETAIL OR CALLED IN NOTES. TOLERANCE SHALL BE AS PER ACI 318.
9. PROVIDE SLEEVES FOR PLUMBING MECHANICAL AND ELECTRICAL OPENINGS IN THE CONCRETE MEMBERS BEFORE PLACING CONCRETE. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING IN CONCRETE IS NOT PERMITTED EXCEPT WHERE SHOWN ON DRAWINGS OR APPROVED BY THE STRUCTURAL ENGINEER.

E. NON-SHRINK GROUT OR DRYPACK:

1. NON-SHRINK GROUT OR DRYPACK SHALL CONSIST OF A PREMIXED NON-METALLIC FORMULA.
2. MINIMUM FORMULA REQUIREMENTS.

a. NO SHRINKAGE AFTER PLACEMENT.

b. NO EXPANSION AFTER SET (ASTM C-827).

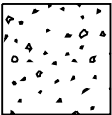
c. INITIAL SET UP TIME NOT LESS THAN 45 MINUTES (ASTM C-1911).

d. ONE DAY COMPRESSIVE STRENGTH = 3000 PSI (ASTM C-109).

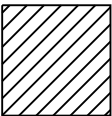
e. fc AT 28 DAYS = 5000 PSI.
- F. LUMBER:
1. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE, GRADE #1 - PRESSURE TREATED, UNLESS OTHERWISE NOTED.
2. ALL FRAMING LUMBER SHALL BE S4S. LUMBER DESIGN BASED ON ANS/INFoPA NDS - 1991 - NATIONAL DESIGN STANDARDS.
3. PLYWOOD SHEATHING - PRESSURE TREATED (U.S. PS1-83) WITH EXTERIOR GLUE AND APA RATED.
4. ALL NAILING SHALL BE IN ACCORDANCE WITH IBC REQUIRMENTS UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE COMMON WIRE NAILS. NAILING OF ROOF, FLOOR AND SHEARWALL SHEATHING SHALL BE INSPECTED AND APPROVED BY THE BUILDING DEPARTMENT BEFORE COVERING.USEONLY ACQ APPROVED CONNECTORS
5. BOLTS SHALL COMPLY WITH ASTM A-307, BOLT HOLES IN WOOD SHALL BE 1/16 INCH MAXIMUM OVERSIZE. ALL BOLT HEAD AND NUTS BEARING ON WOOD SHALL HAVE STEEL WASHERS.
6. NO LENGTH OF SPLIT IN MEMBER SHALL EXCEED THE WIDTH OF THE MINOR FACE.
7. CONNECTOR DESIGNATIONS REFER TO STRONG-TIE CONNECTORS BY SIMPSON COMPANY. ALL CONNECTORS TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
8. ANY HOLE THROUGH STRUCTURAL MEMBERS FOR PIPES OR CONDUIT SHALL BE VERIFIED WITH THE STRUCTURAL ENGINEER.
9. NAIL ALL 2X DOUBLE JOIST WITH 16d NAILS AT 9 INCH ON CENTER, STAGGERED.
10. PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS.
11. FOR SIZE AND LOCATION OF ROOF, FLOOR AND WALL OPENINGS, SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FRAME ALL FOUR SIDES OF OPENING WITH ADEQUATE MEMBERS AND CONNECTORS.
12. PROVIDE DOUBLE STUDS UNDER ALL BEAM ENDS UNLESS NOTED OTHERWISE AND CARRY STUDS DOWN TO FOUNDATION.

CONTRACTOR SHALL VERIFY ALL SITE DIMENSIONS IN THE FIELD

SYMBOLS LEGEND



NEW CONCRETE SLAB



EXISTING CONCRETE SLAB



The Department of Finance
Temporary Transition Area

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St. Thomas, U.S.V.I. 00802

ISSUE FOR BID

GENERAL NOTES

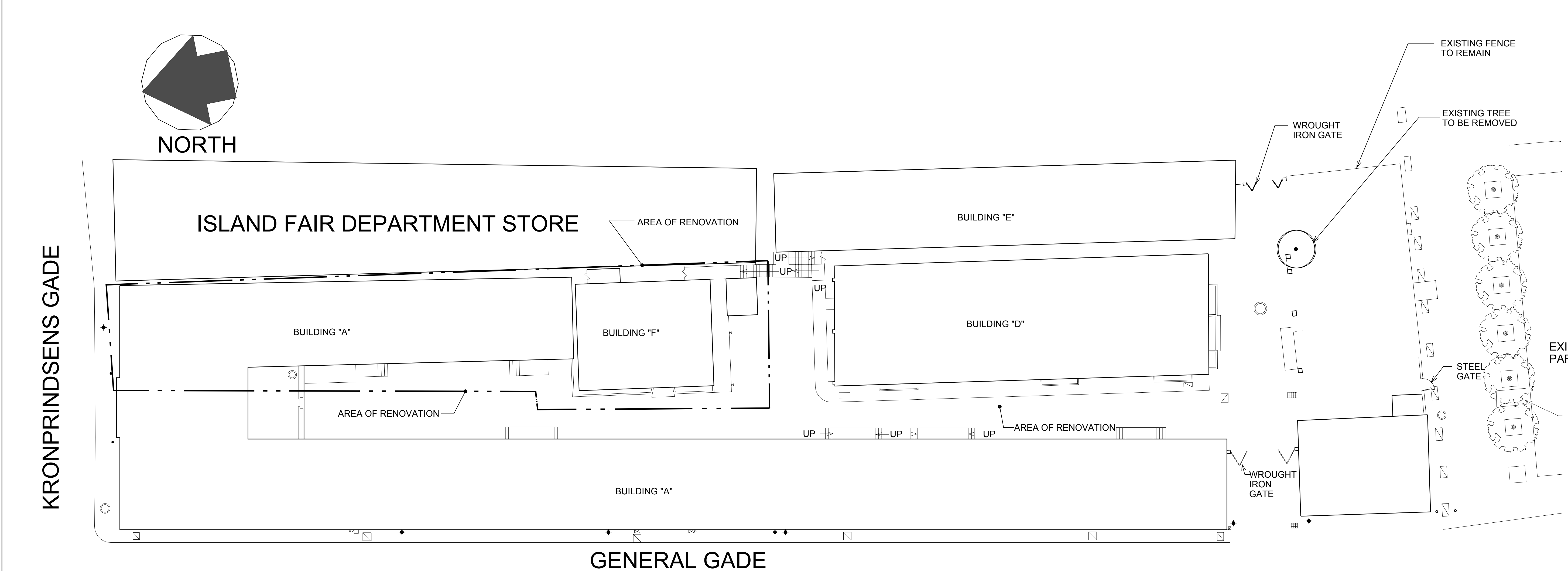
REVISIONS

DRAWN BY:	
CHECKED BY: D. deJongh	
DATE:	05/01/2018
JOB NO:	2017.1

G1.01

GENERAL NOTES	
A. GENERAL :	F. LUMBER:
1. ALL CONSTRUCTION SHALL CONFORM TO THE 2012 INTERNATIONAL BUILDING CODE UNLESS MORE STRINGENT REQUIREMENTS ARE REQUIRED IN THE PLANS AND SPECIFICATIONS.	1. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE, GRADE #1 - PRESSURE TREATED, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL CONDITIONS, ELEVATIONS AND DIMENSIONS BEFORE STARTING WORK. THE ARCHITECT AND STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.	2. ALL FRAMING LUMBER SHALL BE S4S. LUMBER DESIGN BASED ON ANSI/NFPA NDS - 1991 - NATIONAL DESIGN STANDARDS.
3. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITTING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.	3. PLYWOOD SHEATHING - PRESSURE TREATED (U.S. PS1-83) WITH EXTERIOR GLUE AND APA RATED.
4. THE CONTRACT DOCUMENTS REPRESENT THE FINISH STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION.	4. ALL NAILING SHALL BE IN ACCORDANCE WITH IBC REQUIRMENTS UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE COMMON WIRE NAILS. NAILING OF ROOF, FLOOR AND SHEARWALL SHEATHING SHALL BE INSPECTED AND APPROVED BY THE BUILDING DEPARTMENT BEFORE COVERING. USE ONLY ACQ APPROVED CONNECTORS
5. IT SHALL BE THE RESPONSIBILLITY OF THE CONTRACTOR TO PROVIDE TEMPORARY BRACES, SHORES AND GUYS, WHEREVER NECESSARY TO SUPPORT ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED DURING CONSTRUCTION, INCLUDING ERECTION EQUIPMENT AND ITS OPERATION. THIS TEMPORARY SUPPORT SYSTEM SHALL HOLD ALL ELEMENTS AND MEMBERS IN THEIR FINAL POSITION UNTIL TOTALLY AND FINALLY CONNECTED TO THE PERMANENT BRACING ELEMENTS.	5. BOLTS SHALL COMPLY WITH ASTM A-307, BOLT HOLES IN WOOD SHALL BE 1/16 INCH MAXIMUM OVERSIZE. ALL BOLT HEAD AND NUTS BEARING ON WOOD SHALL HAVE STEEL WASHERS.
6. THE TYPICAL NOTES AND DETAILS SHALL APPLY IN ALL CASES UNLESS SPECIFIC DETAILS OCCUR ELSEWHERE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS FOR SIMILAR WORK.	6. NO LENGTH OF SPLIT IN MEMBER SHALL EXCEED THE WIDTH OF THE MINOR FACE.
7. REQUIRED INSPECTIONS BY VIRGIN ISLANDS DEPARTMENT OF PLANNING AND NATURAL RESOURCES (BUILDING DEPARTMENT):	7. CONNECTOR DESIGNATIONS REFER TO STRONG-TIE CONNECTORS BY SIMPSON COMPANY. ALL CONNECTORS TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
a. FOUNDATIONS	8. ANY HOLE THROUGH STRUCTURAL MEMBERS FOR PIPES OR CONDUIT SHALL BE VERIFIED WITH THE STRUCTURAL ENGINEER.
b. CONCRETE	9. NAIL ALL 2X DOUBLE JOIST WITH 16d NAILS AT 9 INCH ON CENTER, STAGGERED AS A MINIMUM.
c. MASONRY	10. PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS.
	11. FOR SIZE AND LOCATION OF ROOF, FLOOR AND WALL OPENINGS, SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FRAME ALL FOUR SIDES OF OPENING WITH ADEQUATE MEMBERS AND CONNECTORS.
	12. PROVIDE DOUBLE STUDS UNDER ALL BEAM ENDS UNLESS NOTED OTHERWISE AND CARRY STUDS DOWN TO FOUNDATION.

2	GENERAL NOTES
	NO TO SCALE



1	SITE PLAN
	SCALE: 1/16" = 1'-0"



The Department of Finance
Temporary Transition Area

Kronprindsens Quarter
St. Thomas, U.S.V.I. 00802

ISSUE FOR BID

SITE PLAN

REVISIONS	

DRAWN BY:	
CHECKED BY: D. deJongh	
DATE:	05/01/2018
JOB NO:	2017.1

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The Department of Finance
Temporary Transition Area

Kronprindsens Quarter
St. Thomas, U.S.V.I. 00802

ISSUE FOR BID

DEMOLITION NOTES

REVISIONS

DRAWN BY: O.C. & B.S.

CHECKED BY: D. deJongh

DATE: 05/01/2018

JOB NO: 2017.1


D1.00


GENERAL NOTES


No. 1& 2 OF DEMOLITION NOTES ARE APPLICABLE TO ALL DRAWING SHEETS.


PRIOR TO ALL DEMOLITION WORK IDENTIFY & LABEL ALL MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS AND FUNCTIONS, PROVIDE GRAPHIC SCHEMATIC DIAGRAM SHOWING CIRCUITRY OF ELECTRICAL COMPONENTS TO REMAIN BOTH THE ORIGIN & RESPECTIVE PANEL TO WHICH THEY RELATE. ALL ELECTRICAL DEMOLITION TO BE PERFORMED BY A QUALIFIED PROFESSIONAL CONTRACTOR LICENSED IN THE U.S. VIRGIN ISLANDS.


DEMOLITION NOTES


- 


CONTRACTOR SHALL VISIT AND EXAMINE THE SITE & STRUCTURE TO VERIFY ALL QUANTITIES AND EXISTING CONDITIONS TO BE REMOVED.
- 

REMOVE ALL DEBRIS FROM CONSTRUCTION SITE AND DISPOSE OF DEBRIS IN A MANNER AS PER VI CODE.
- 

REMOVE ALL EXISTING WINDOWS AS NOTED. SEE WINDOW SCHEDULE FOR NEW WORK.
- 


REMOVE PAINT AND RECONDITION ALL WALLS TO REMAIN IN PREPARATION OF NEW PAINT.
- 


REMOVE EXISTING BI FOLD DOORS AND REPAIR FRAME AS REQUIRED AS PER PROPOSED FLOOR PLAN.
- 


SCRAPE PATCH AND REPAIR EXTERIOR MASS MASONRY WALL TO RECEIVE NEW HIGH PERFORMANCE COATING.
- 


REMOVE ALL EXISTING WALL BOARDS ATTACHED TO WALLS. THIS SHALL INCLUDE BUT IS NOT LIMITED TO THE REMOVAL OF ALL WOOD CASED OPENINGS, DOORS, FRAMES AND TRIM, WOOD BASE, WINDOW TRIM ETC. CHECK EXISTING WALL FRAMING FOR INSECTS, WATER, EVIDENCE OF MOLD AND OTHER DAMAGE. SAFEGUARD ALL DOORS, FRAMES, & HARDWARE FOR POTENTIAL SALVAGE & REUSE IN OTHER LOCATIONS. REUSE TO BE DETERMINED BY ARCHITECT. SEE FLOOR PLAN FOR NEW WORK.


DEMOLITION NOTES

- 

REMOVE ALL COMPROMISED ELECTRICAL WORK WHICH INCLUDES BUT IS NOT LIMITED TO ALL OUTLETS, SWITCHES, LIGHTS, CEILING AND WALL, EXIT SIGNS, EMERGENCY LIGHTS, PHONE OUTLETS, CEILING FANS, PANELS AND WIRING AND CEILING FANS. SEE ELECTRICAL DRAWINGS FOR NEW WORK.
- 

REMOVE EXISTING PLUMBING AND MECHANICAL EQUIPMENT WHICH INCLUDES BUT IS NOT LIMITED TO ALL PLUMBING FIXTURES AND PIPES, BOTH WATER, AND WASTE, VENT PIPES, MECHANICAL GRILLS AND DUCTWORK SUPPLY, RETURN AND EXHAUST, ALL MECHANICAL EQUIPMENT AND THERMOSTATS AS REQUIRED. SAFEGUARD ALL URINALS, WATER CLOSETS, SINKS BOTH BATHROOM & KITCHEN AND RELATED COMPONENTS FOR POTENTIAL SALVAGE & REUSE IN OTHER LOCATIONS. REUSE TO BE DETERMINED BY ARCHITECT. SEE MECHANICAL AND PLUMBING DRAWINGS FOR NEW WORK.
- 

REMOVE EXSITING DOORS AND CONTRACTOR SHALL DISPOSE OR STORE AS PER TH E ARCHITECT/ OWNERS REQUEST.
- 

REMOVE AND SAFEGUARD ALL CHAIRS, DESKS, CUBICLES & PARTITIONS IN THERE ENTIRETY. ALL CHAIRS, DESKS, CUBICLES & PARTITIONS TO BE STORED IN LOCATION DESIGNATED BY OWNER FOR POTENTIAL SALVAGE & REUSE IN OTHER LOCATIONS. REUSE TO BE DETERMINED BY OWNER.
- 

REMOVE ALL EXISTING PLUMBING FIXTURES AND PREPARE AREA TO RECEIVE NEW FIXTURES. STORE REMOVED FIXTURES FOR POTENTIAL SALVAGE & REUSE IN OTHER LOCATIONS. SEE FLOOR PLAN FOR PROPOSED WORK.

DEMOLITION NOTES

- 

REMOVE EXISTING FLOOR AND WALL TILE IN RESTROOMS AND REPLACE ANY EXISTING SHEATHING WITH CEMENT BOARD AND PREPARE AREA TO RECEIVE NEW WALL TILE AND FLOOR TILE.
- 

CONTRACTOR TO VERIFY IF FLOOR DRAINS EXIST IF SO THEN SNAKE AND CLEAN OUT ALL EXISTING FLOOR DRAINS IN PREPARATION FOR NEW CONNECTIONS.
- 

WALLS AND FLOORS TO HAVE TRENCH TO PREPARE FOR NEW ELECTRICAL AND MECHANICAL CONDUIT (SEE PROPOSED PLAN)
- 

REMOVE EXISTING EXTERIOR DOOR AND PREPARE OPENING TO RECEIVE NEW WINDOW (SEE WINDOW SCHEDULE)
- 

REMOVE EXISTING PLANTER ON EXTERIOR EAST SIDE OF BUILDING AS NOTED
- 

RAMPS TO BE REMOVED AND RECONSTRUCTED TO COMPLY WITH ADA REGULATIONS.
- 




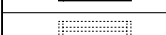


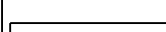



CONTRACTOR SHALL REMOVE ALL PARTITION COMPARTMENTS AND PLUMBING FIXTURES. RESTROOM TO BE RENOVATED IN COMPLIANCE WITH ADA REGULATIONS. COORDINATE NEW LAYOUT WITH EXISTING PLUMBING LINES.
- 

CONTRACTOR SHALL REMOVE ALL ACOUSTICAL CEILING TILE AND LIGHTING FIXTURES. REMOVE ALL POWER ASSOCIATED WITH THE DENOTED AREAS AND SET UP TEMPORARY POWER AS PER THE ARCHITECTS REQUEST IF AND PREPARE AREA FOR NEW POWER AND ELECTRICAL CONNECTIONS.
- 

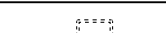


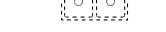
REMOVE ALL COUNTERS SURFACES AND FRAMING THAT SUPPORTS IT.
- 

REMOVE EXISTING FLOORING MATERIAL AND PREPARE FLOOR FOR NEW ELEC. AND MECHANICAL TRENCH AS DENOTED ON PROPOSED FLOOR PLAN.

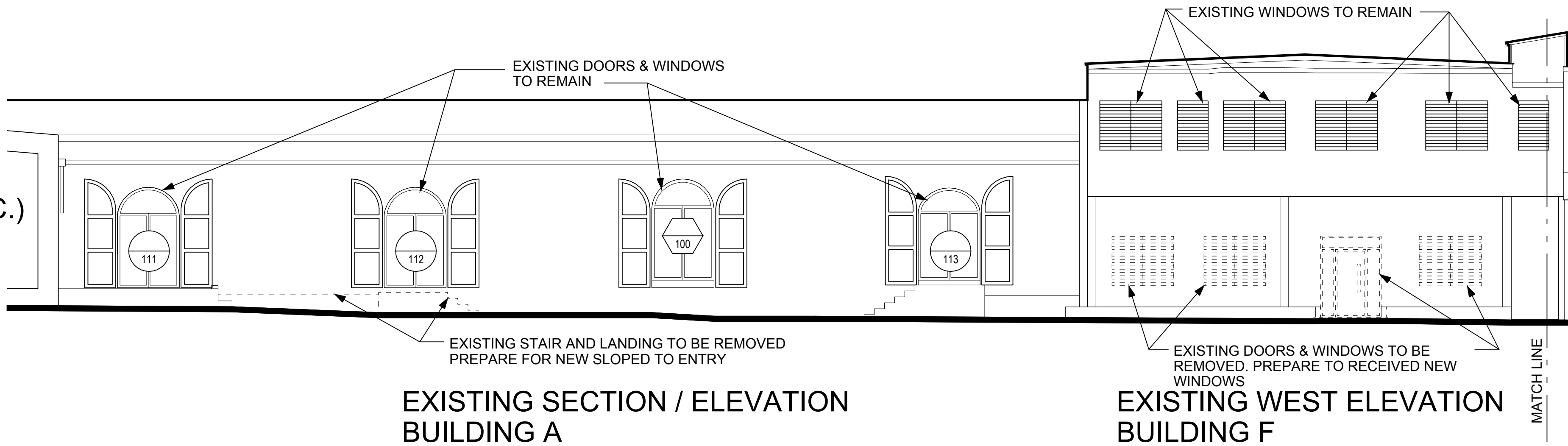
WALL DEMOLITION KEY

LINE TYPE	DESCRIPTION
	EXISTING TO REMAIN
	PATCH AND SCRAPE MASS MASONRY EXT. WALLS.
	REMOVE PARTITION DRYWALL AND FRAMING
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW WALL
 	EXISTING COLUMN TO REMAIN

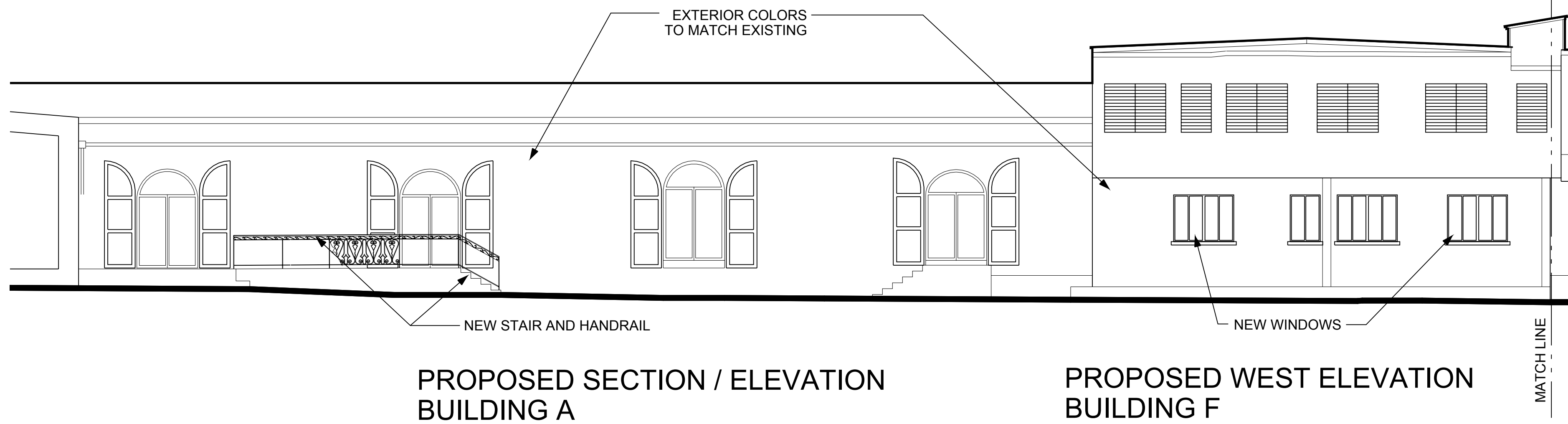
PLUMBING DEMOLITION KEY

FIXTURE	DESCRIPTION
	URINAL
	WATER CLOSET
	LAVATORY SINK
	KITCHEN SINK

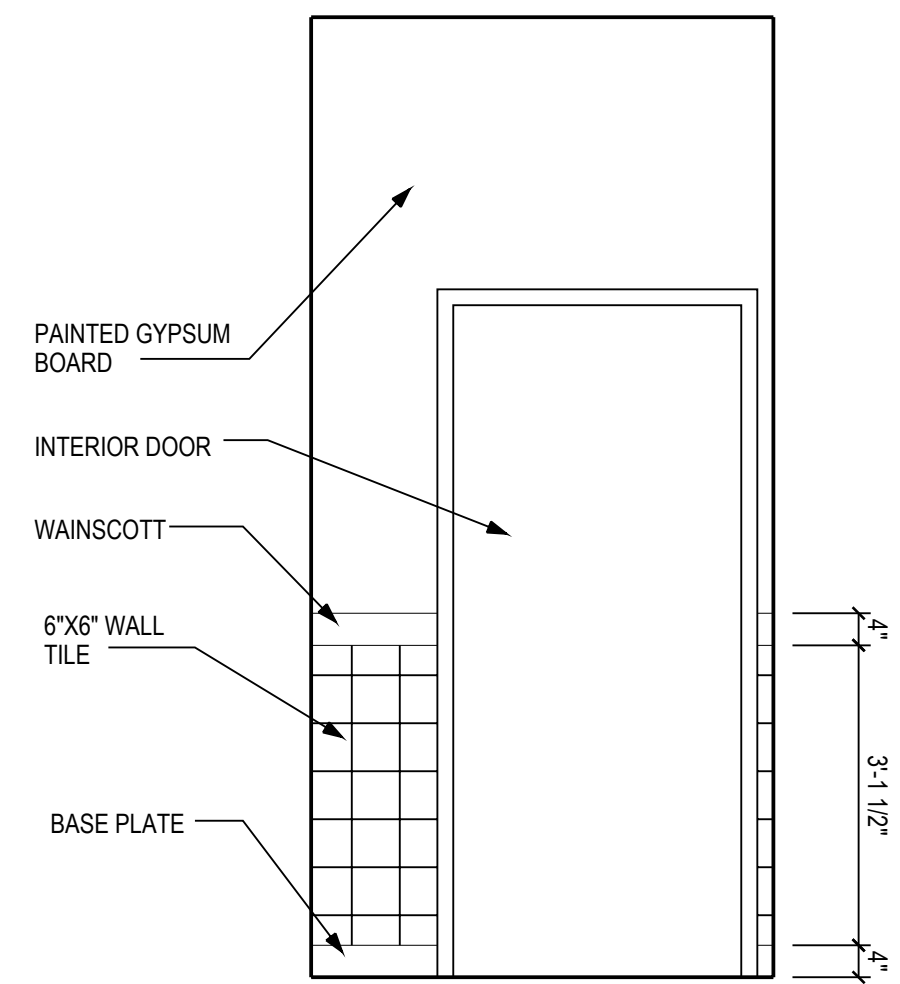
AREA (N.I.C.)



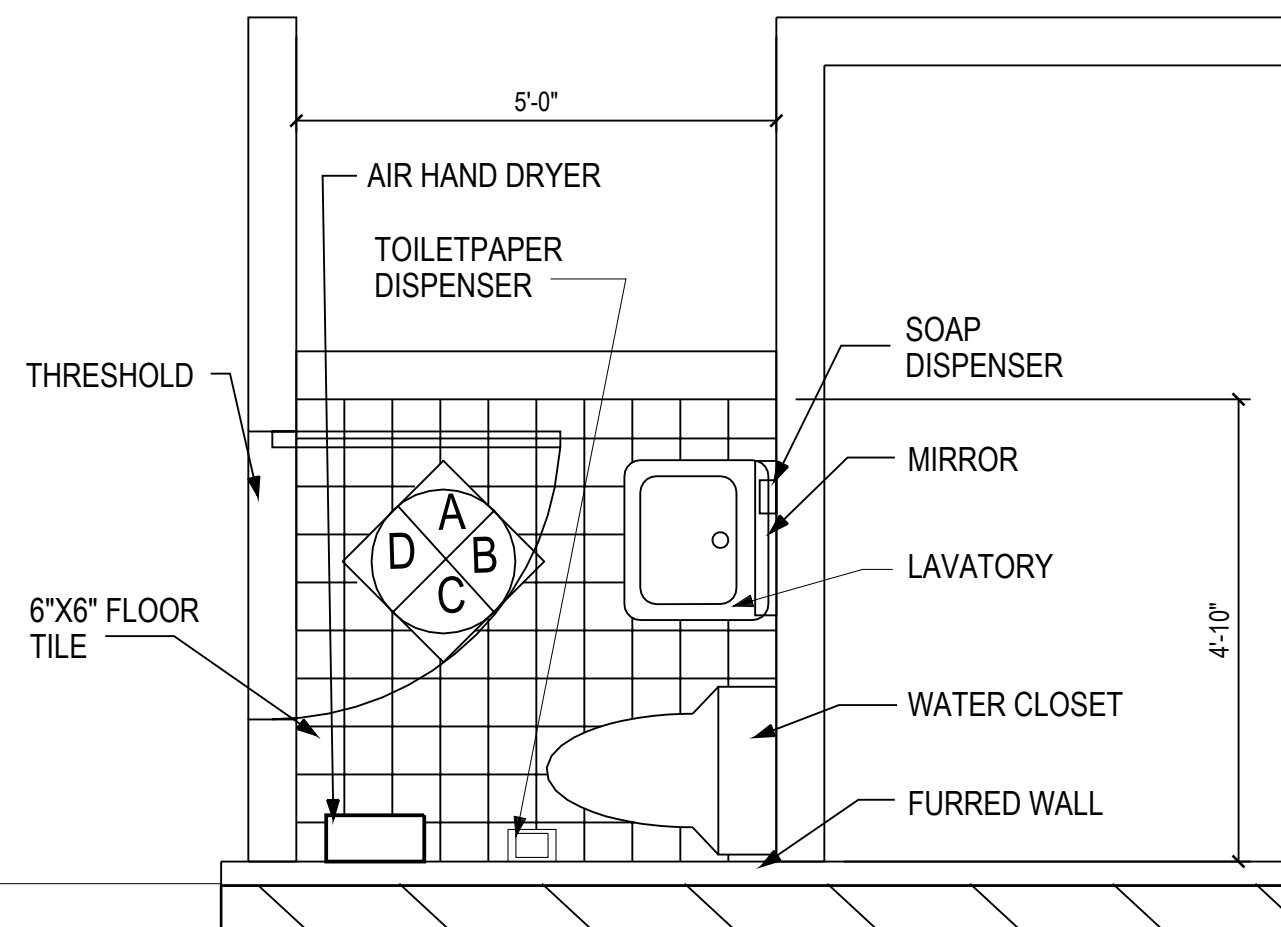
1 DEMOLITION WEST ELEVATION
SCALE: 1/8" = 1'-0"



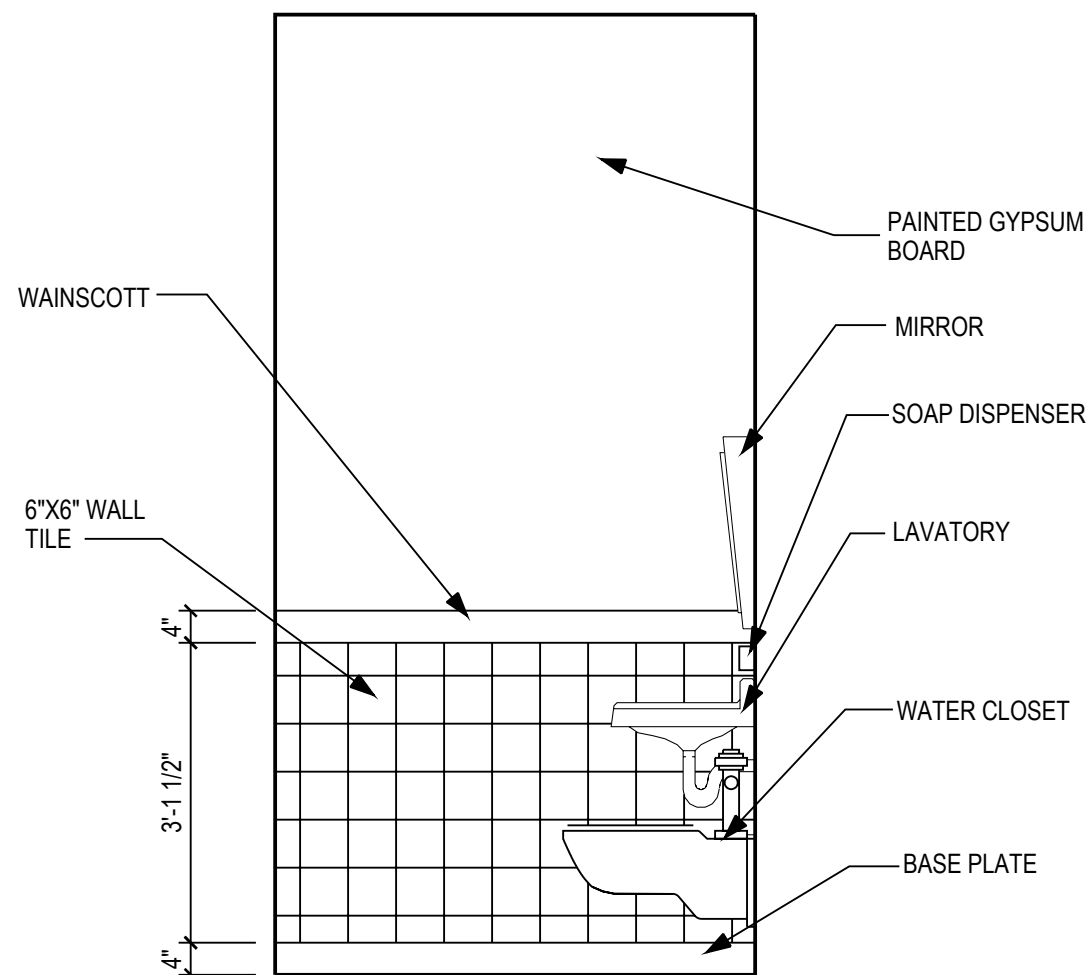
2 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"



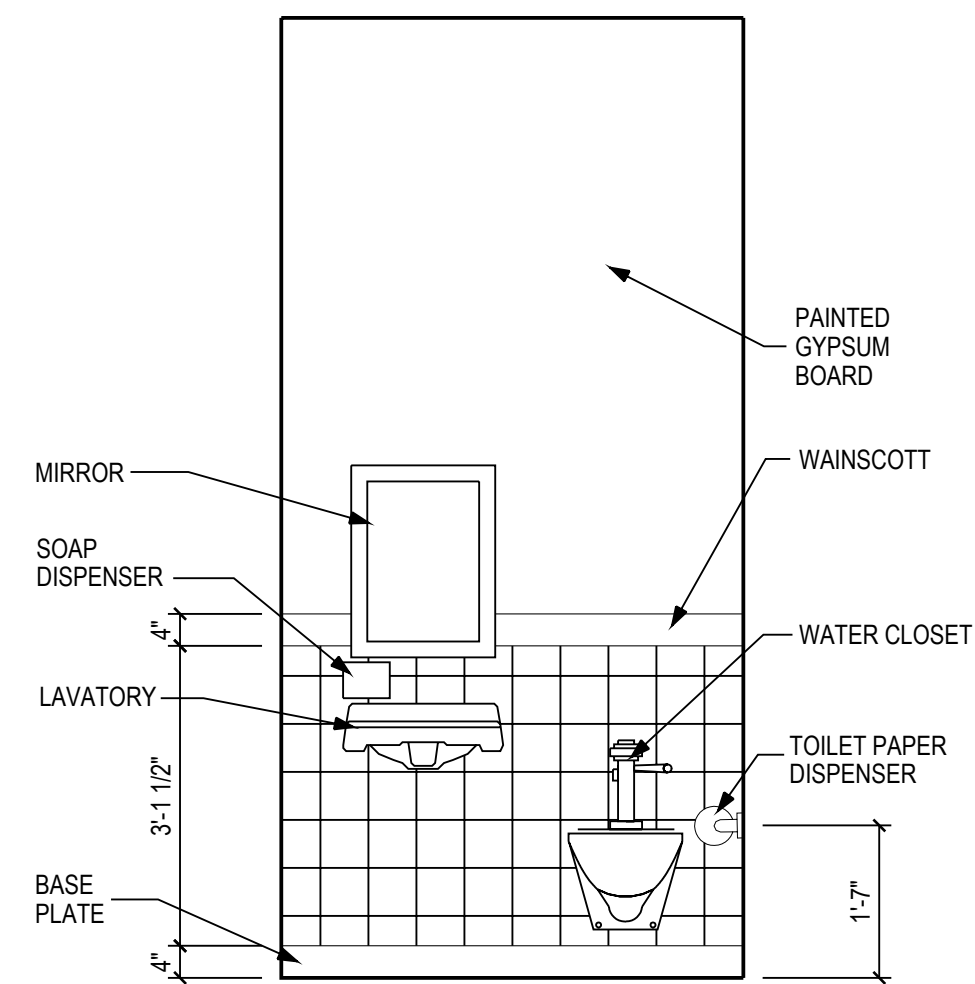
7 UNISEX RESTROOM 2 INTERIOR ELEVATION D
SCALE: 1/2" = 1'-0"



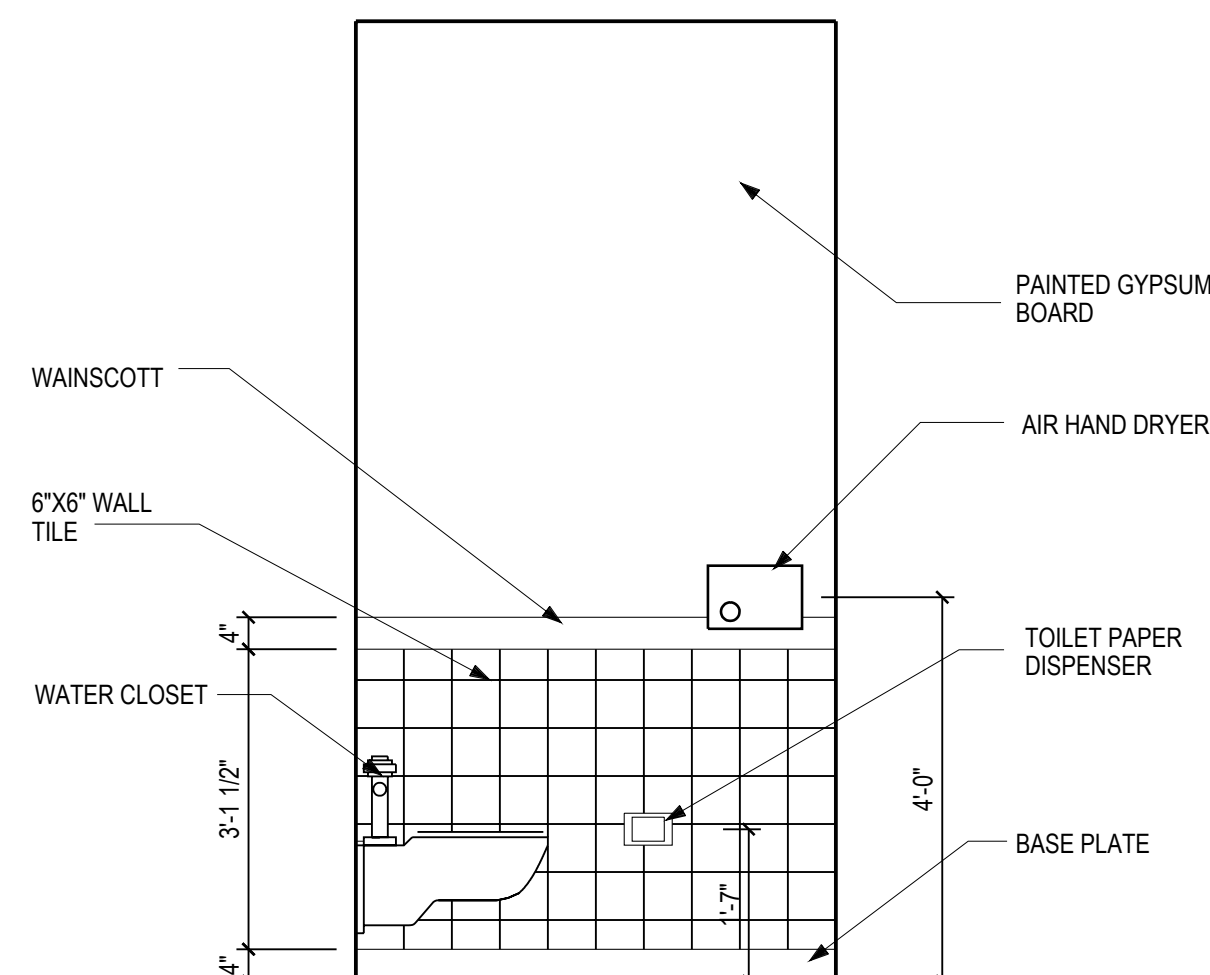
3 UNISEX RESTROOM 2 FLOOR PLANS
SCALE: 1/2" = 1'-0"



4 UNISEX RESTROOM 2 INTERIOR ELEVATION A
SCALE: 1/2" = 1'-0"



5 UNISEX RESTROOM 2 INTERIOR ELEVATION B
SCALE: 1/2" = 1'-0"



6 UNISEX RESTROOM 2 INTERIOR ELEVATION C
SCALE: 1/2" = 1'-0"



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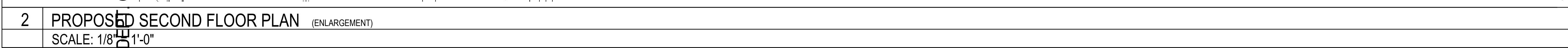
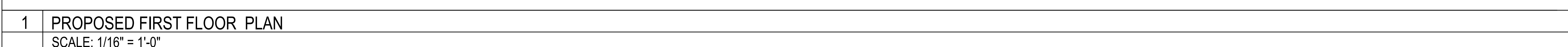
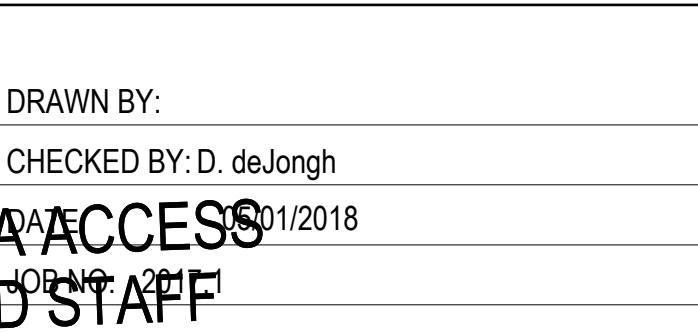
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DEMOLITION SOUTH,
EAST & WEST ELEVATION

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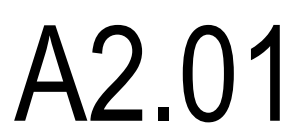
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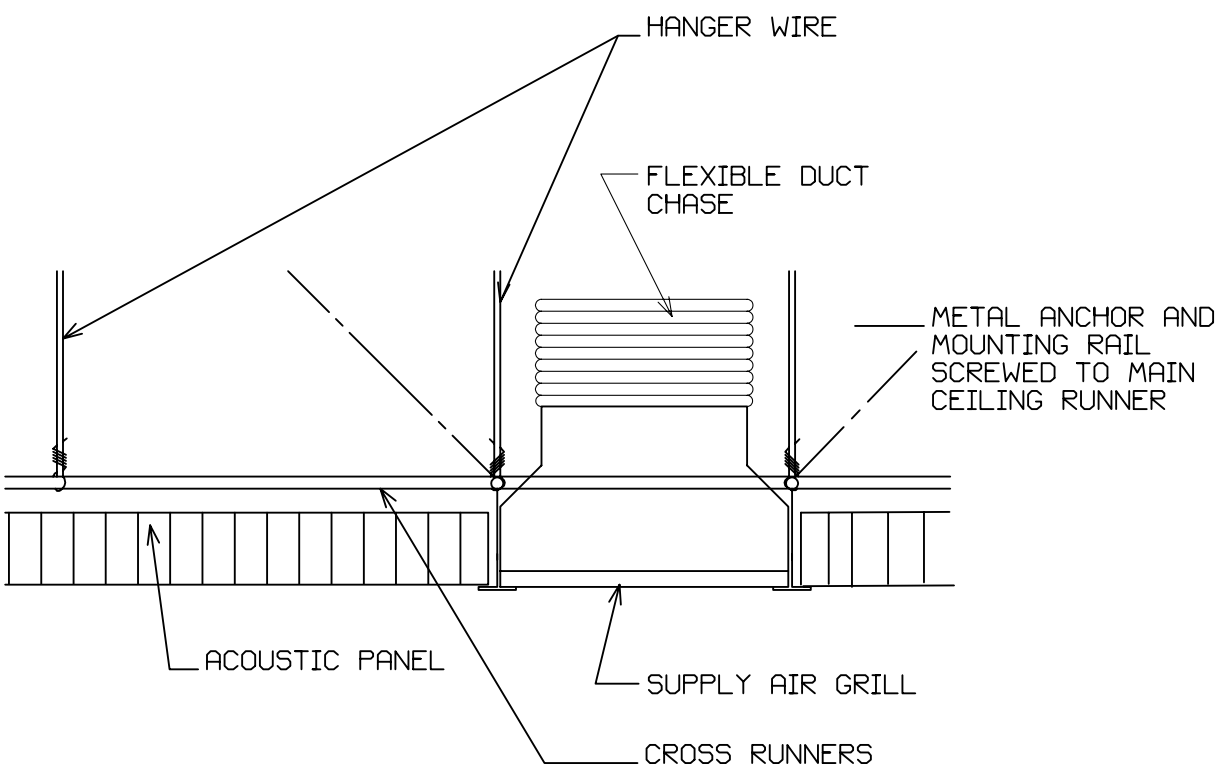
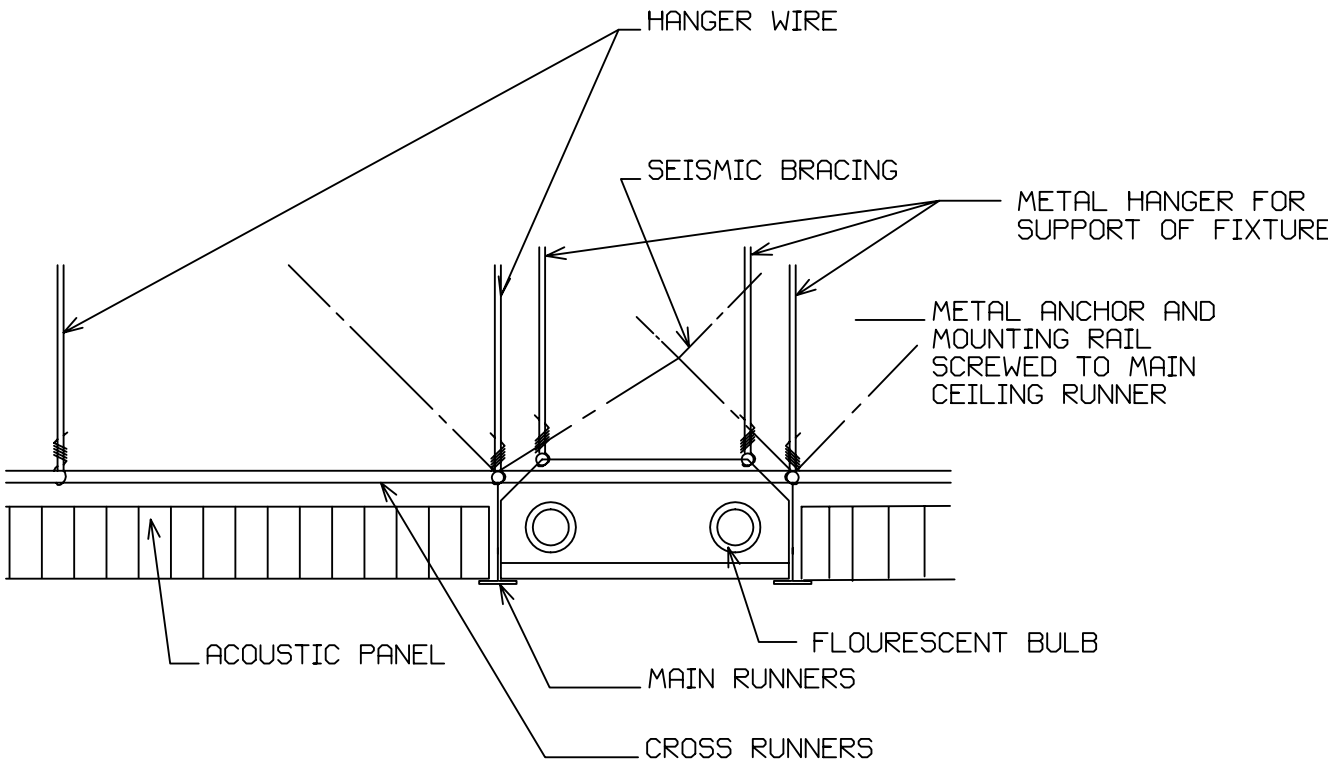
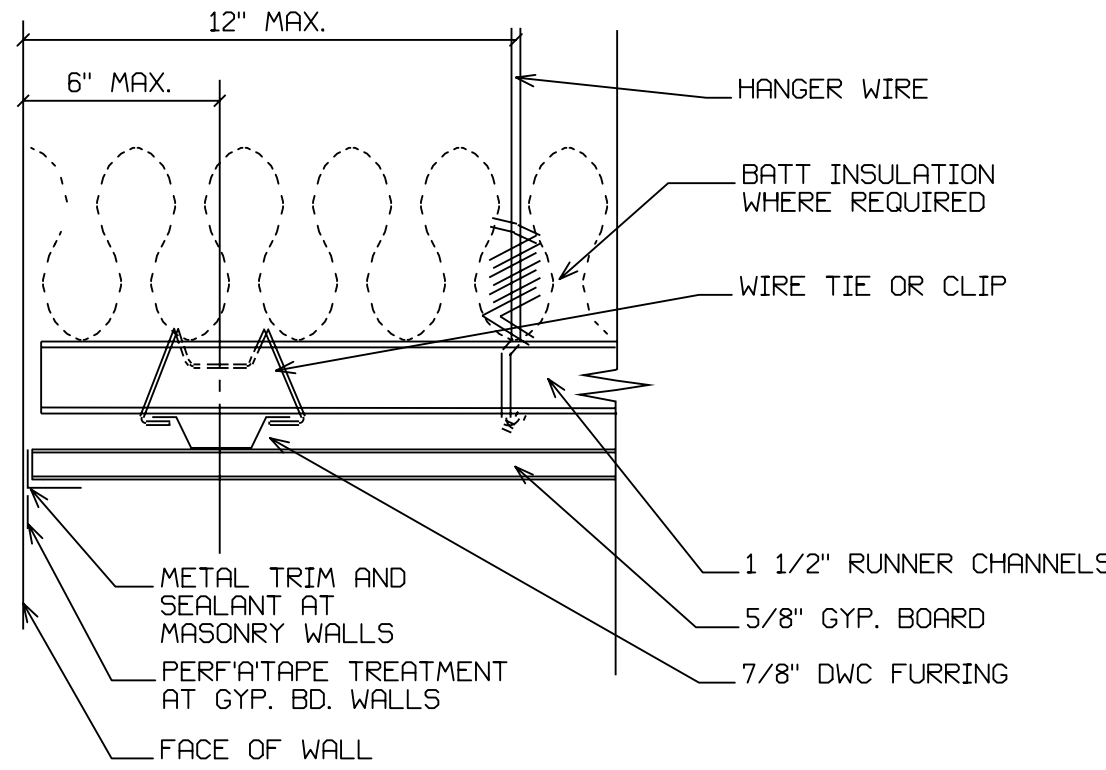
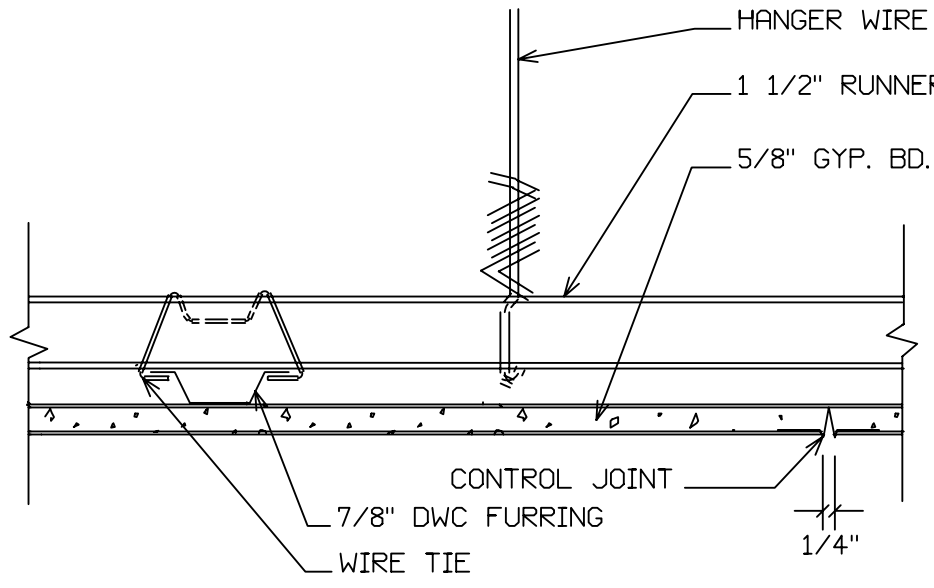
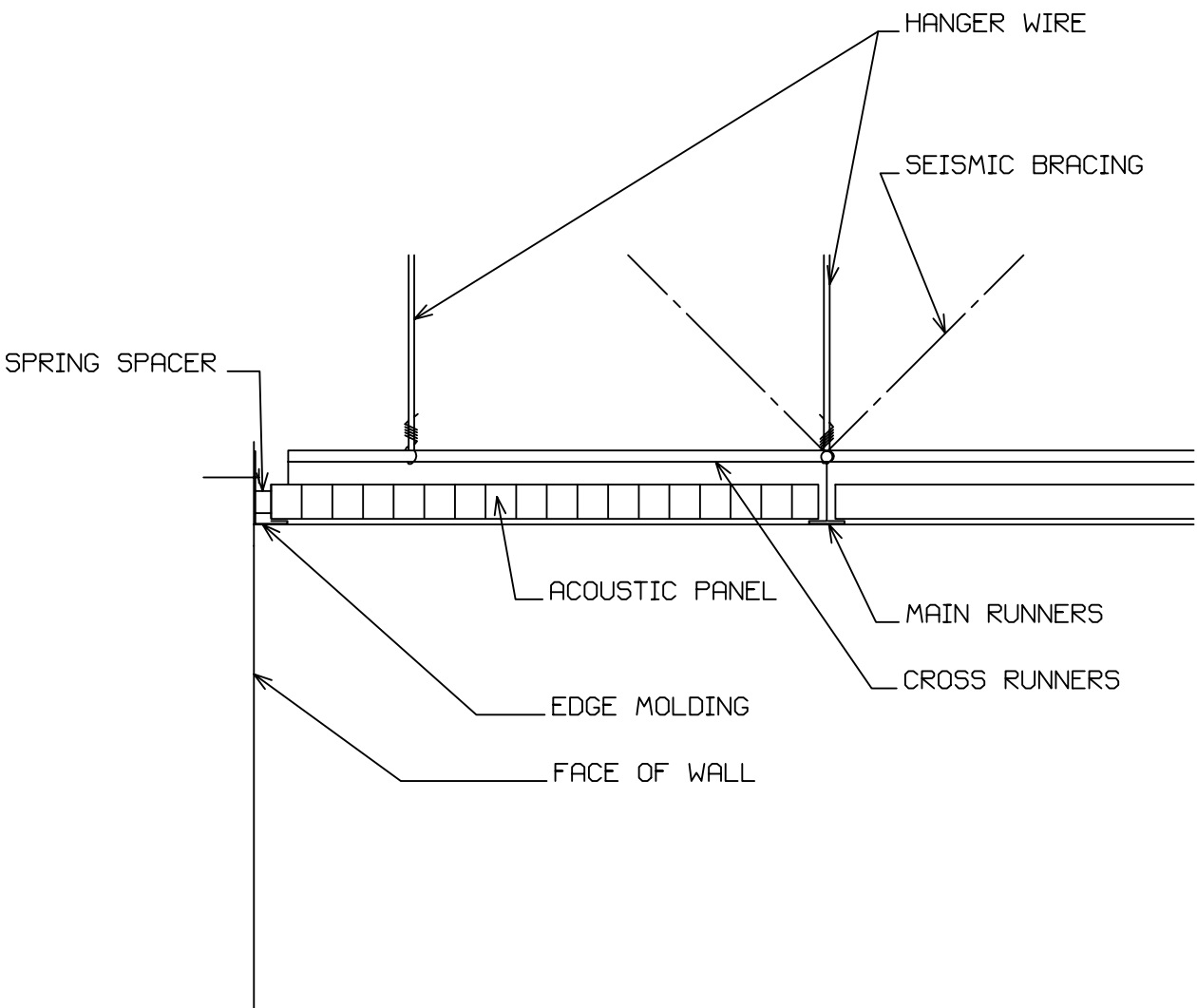
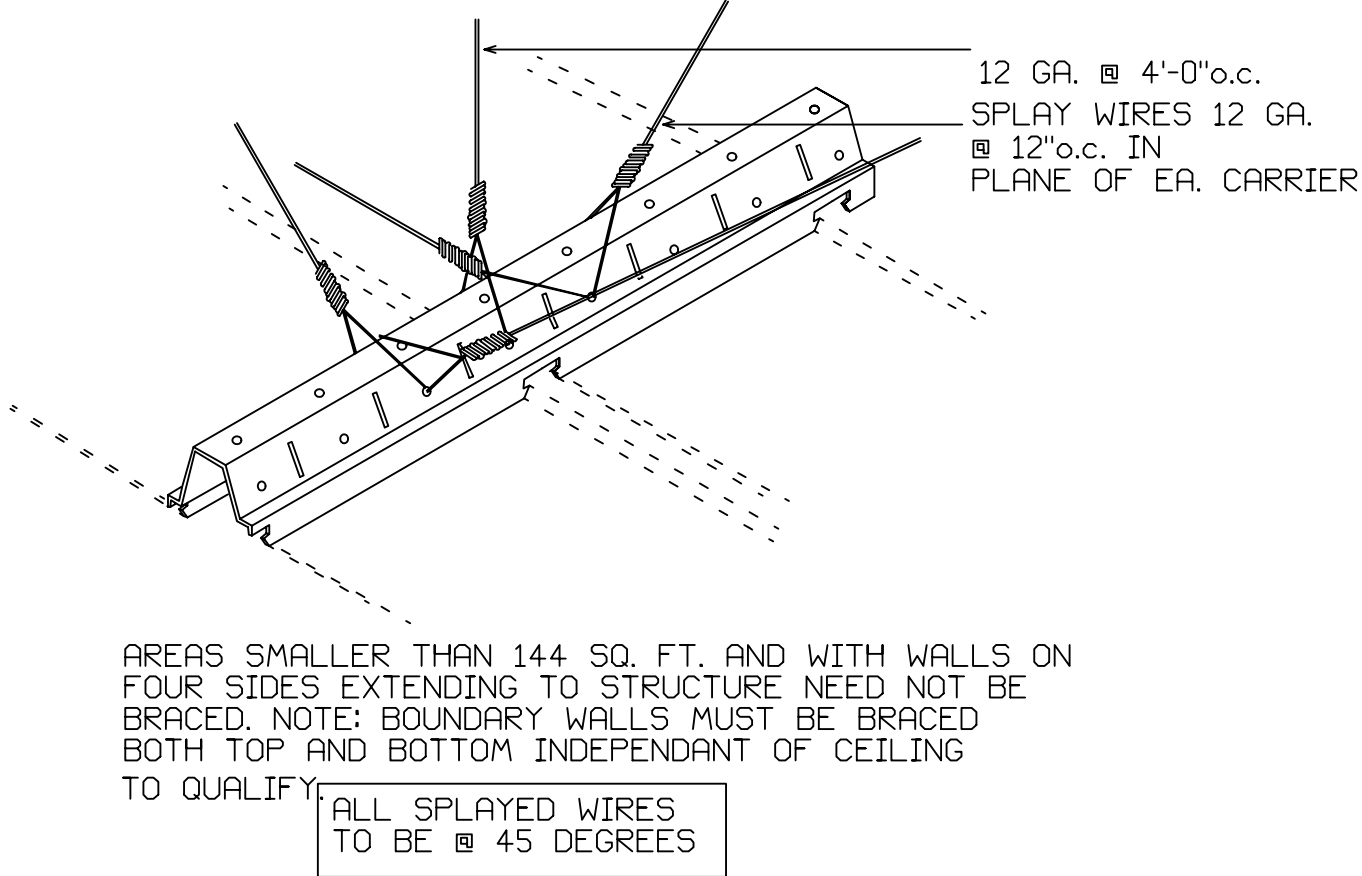
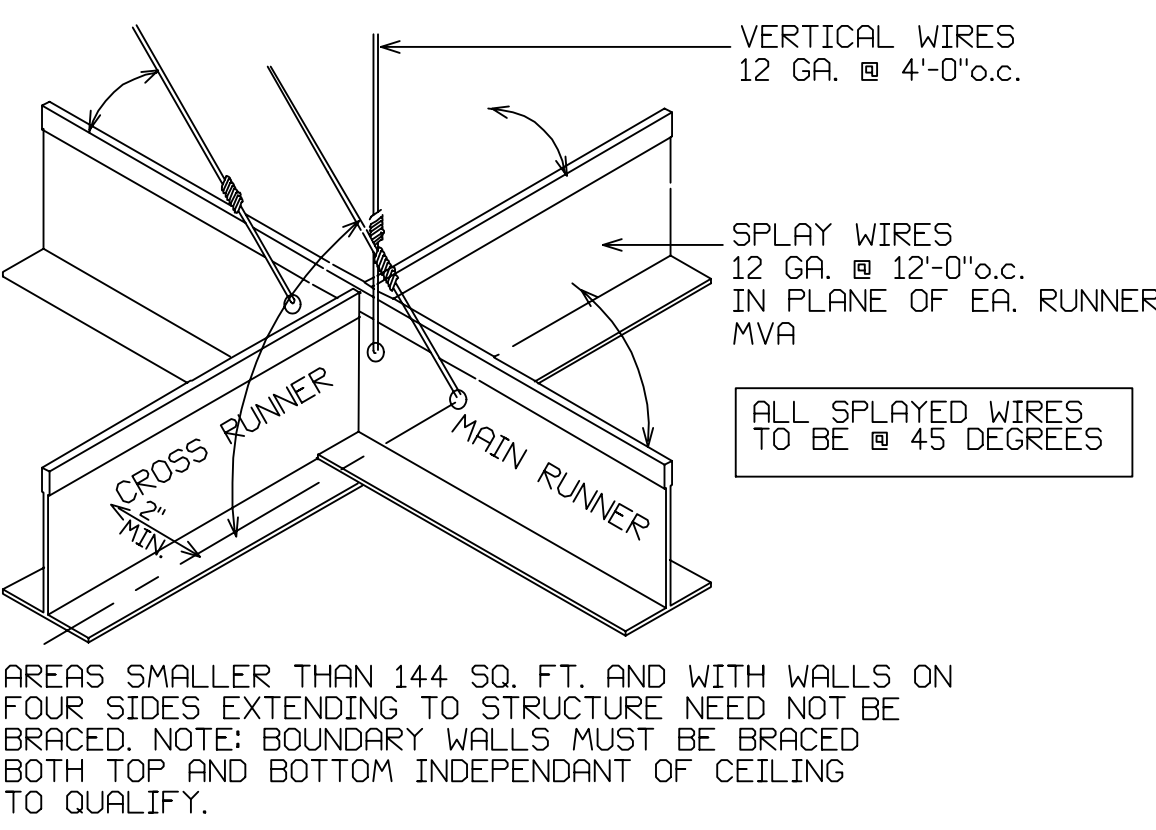
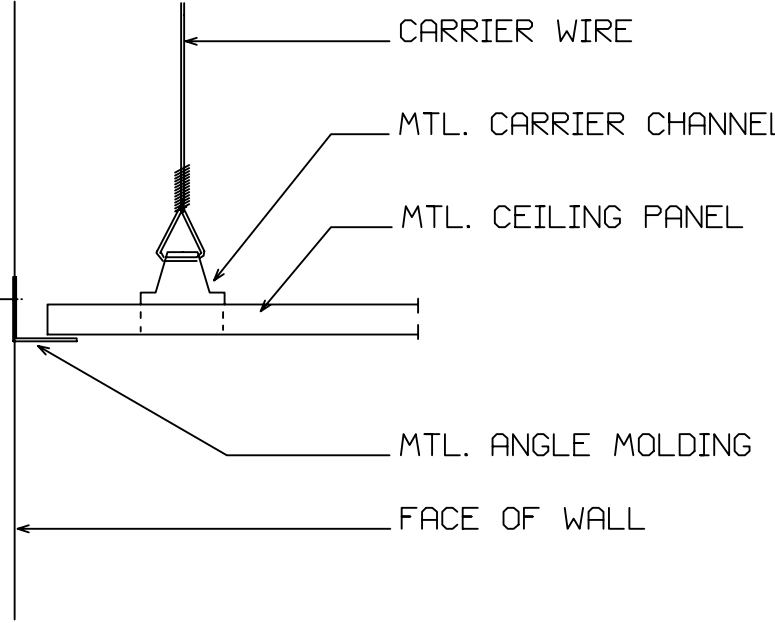
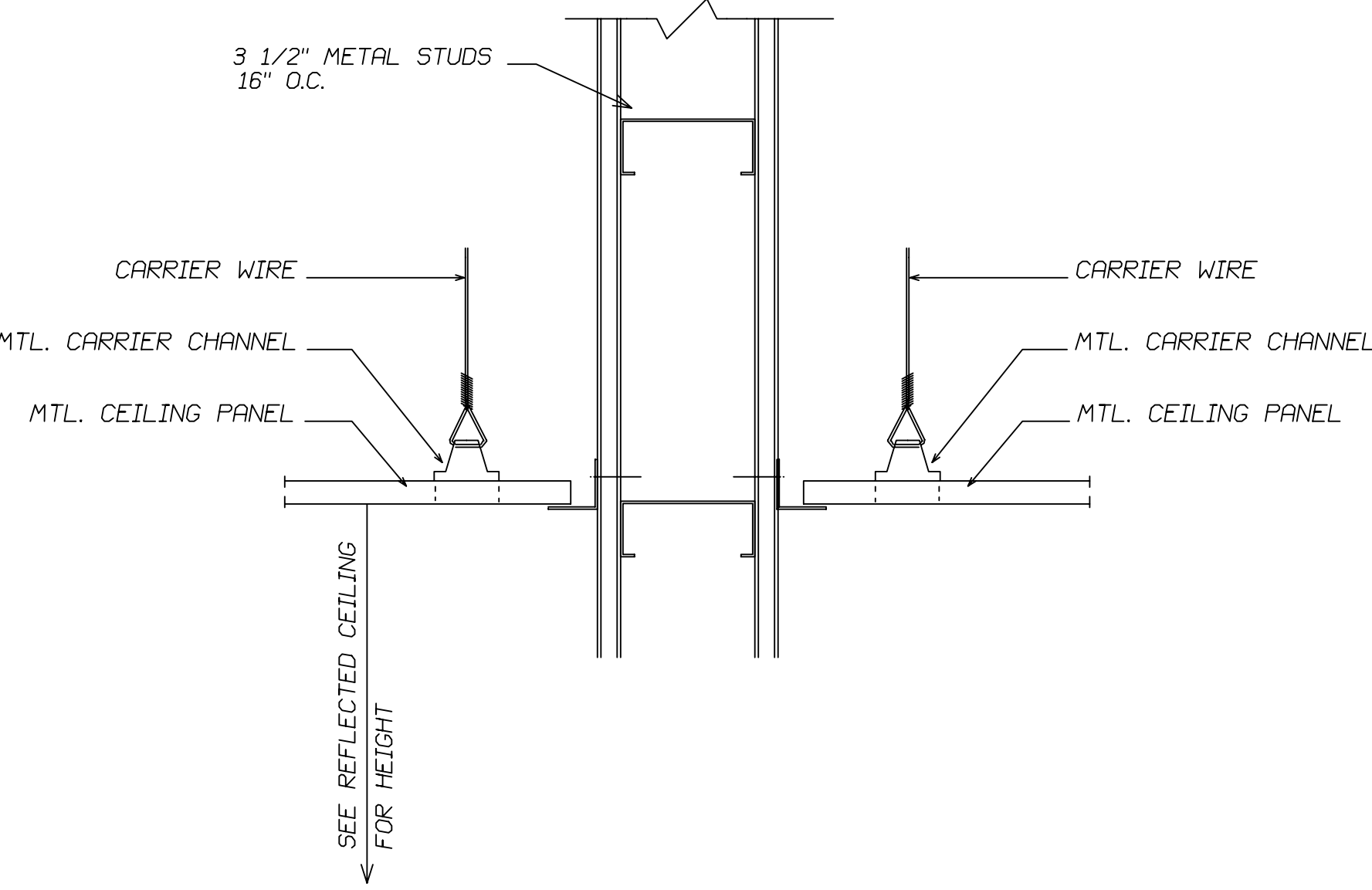
WINDOW SCHEDULE										
NO.	TYPE	WINDOW					FRAME		REMARKS	
		WINDOW OPENING SIZE			TYPE	MAT'L	FINISH	TYPE		MAT'L
		W	H	THK						
101	B	6'-0"	4'-8"			METAL	STAINED			HURRICANE RESISTANT AND BULLET RESISTANT GLASS,W/TINT
102	A	2'-0"	4'-8"			METAL	STAINED			
103	B	6'-0"	4'-8"			METAL	STAINED			
104	B	6'-0"	4'-8"			METAL				
105	D	4'-0"	4'-8"			METAL				
106	D	4'-0"	4'-8"			METAL				
107	D	4'-0"	4'-8"			METAL				
108	D	4'-0"	4'-8"			METAL				
109	D	4'-0"	4'-8"			METAL				
110	C	3'-0"	4'-8"			METAL				HURRICANE RESISTANT AND BULLET RESISTANT GLASS,W/TINT

Diagram illustrating eight door options (A-H) with dimensions and descriptions. All doors are 3'-0" wide and 7'-0" high.

- (A) WOOD DOOR**: Standard wood door.
- (B) BI FOLD WOOD DOOR**: Bi-fold wood door.
- (C) WOOD DOOR FIXED LOUVERS**: Wood door with fixed louvers.
- (D) EXTERIOR WOOD DOOR WITH VISION PANEL WITH PANIC HARDWARE CARD KEY ACCESS**: Exterior wood door with a vision panel, panic hardware, and card key access.
- (E) DOUBLE/METAL DOOR WITH LOUVERS**: Double/metal door with louvers.
- (F) WOOD DOOR FIXED LOUVERS**: Wood door with fixed louvers.
- (G) METAL DOOR WITH VISION PANEL PANIC HARDWARE CARD KEY ACCESS**: Metal door with a vision panel, panic hardware, and card key access.
- (H) METAL DOOR WITH VISION PANEL PANIC HARDWARE CARD KEY ACCESS**: Metal door with a vision panel, panic hardware, and card key access.

----- (A) ----- (B) ----- (C) ----- (D)
 EXTERIOR WINDOW EXTERIOR WINDOW EXTERIOR WINDOW EXTERIOR WINDOW



							
1	CEILING DETAIL SCALE: 3"=1'-0"	2	CEILING DETAIL SCALE: 3"=1'-0"	3	CEILING DETAIL SCALE: 3"=1'-0"	4	CEILING DETAIL SCALE: 3"=1'-0"
							
5	CEILING DETAIL SCALE: 3"=1'-0"	6	CEILING DETAIL SCALE: 3"=1'-0"	7	CEILING DETAIL SCALE: 3"=1'-0"	8	CEILING DETAIL SCALE: 3"=1'-0"
							
9	CEILING DETAIL SCALE: 3"=1'-0"						

1 WALL DETAIL (PLAN VIEW) SCALE: 1" = 1'-0"		2 DOOR JAMB DETAIL SCALE: 1" = 1'-0"		3 DOOR JAMB DETAIL SCALE: 1" = 1'-0"		4 DOOR JAMB DETAIL SCALE: 1" = 1'-0"	
5 DOOR HEAD DETAIL SCALE: 1" = 1'-0"		6 DOOR HEAD DETAIL SCALE: 1" = 1'-0"		7 DOOR JAMB DETAIL NOT TO SCALE		8 DOOR HEAD DETAIL NOT TO SCALE	
10 WALL TYPE NOT TO SCALE		11 WALL TYPE NOT TO SCALE		12 WALL TYPE NOT TO SCALE		13 WALL TYPE NOT TO SCALE	
15 WALL DETAIL NOT TO SCALE		16 WALL DETAIL (PLAN VIEW) NOT TO SCALE		18 ROOF DETAIL SCALE: 3/4" = 1'-0"		17 ROOF DETAIL SCALE: 3/4" = 1'-0"	



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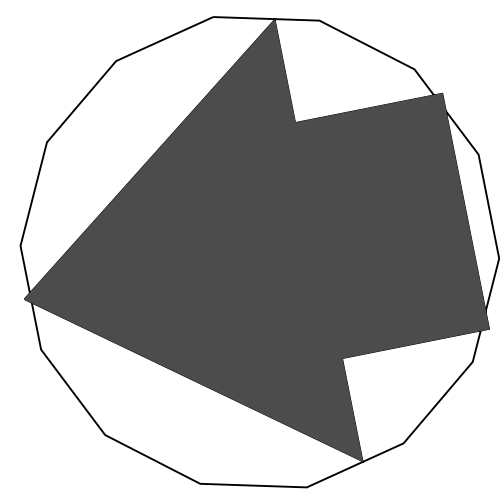
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WALL TYPES & DETAILS

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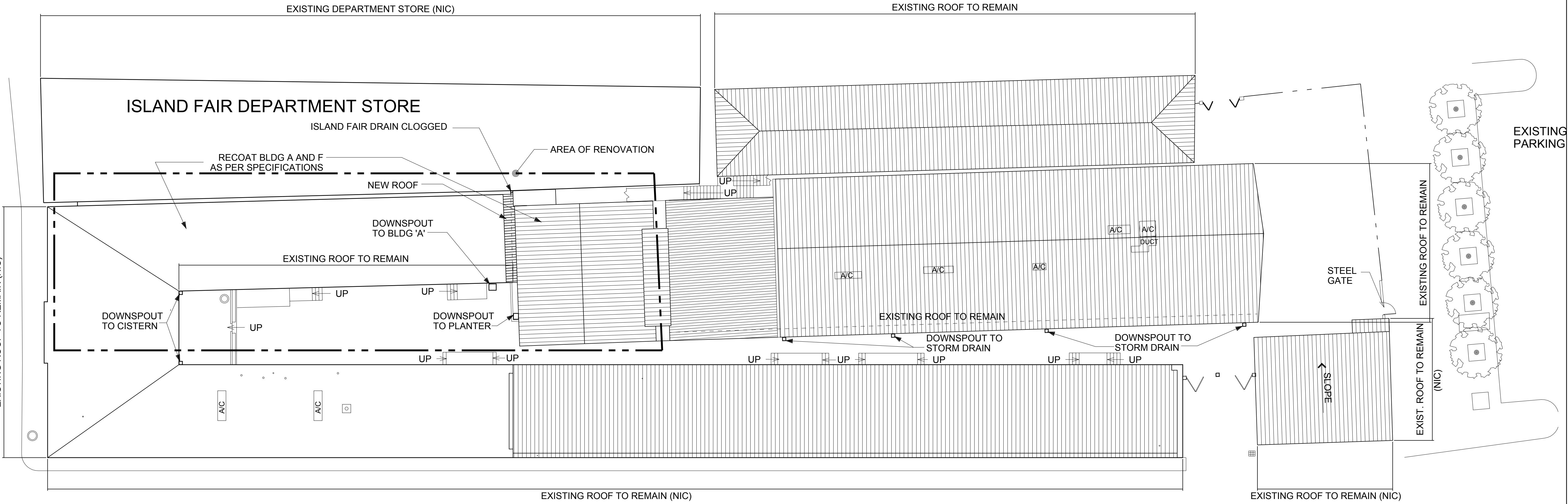
A2.03



NORTH

LEGEND
NIC - NOT IN CONTRACT

KRONPRINDSENS GADE



GENERAL GADE



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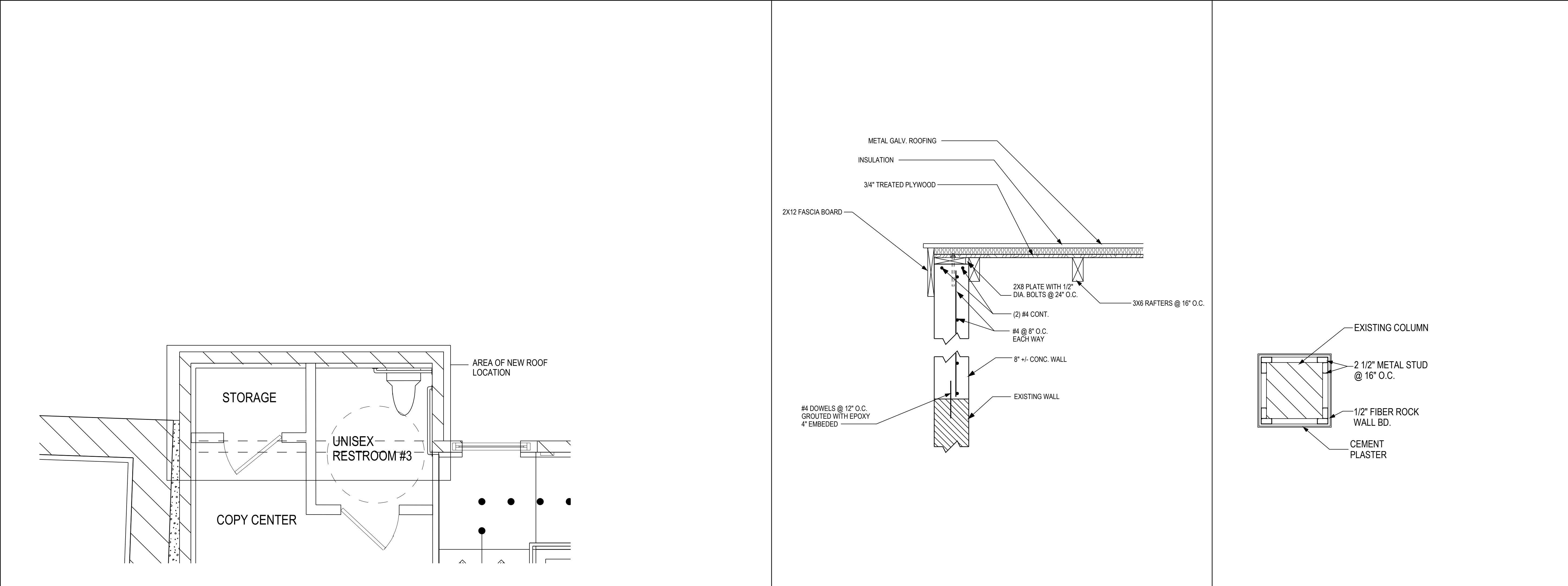
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PROPOSED ROOF
PLAN

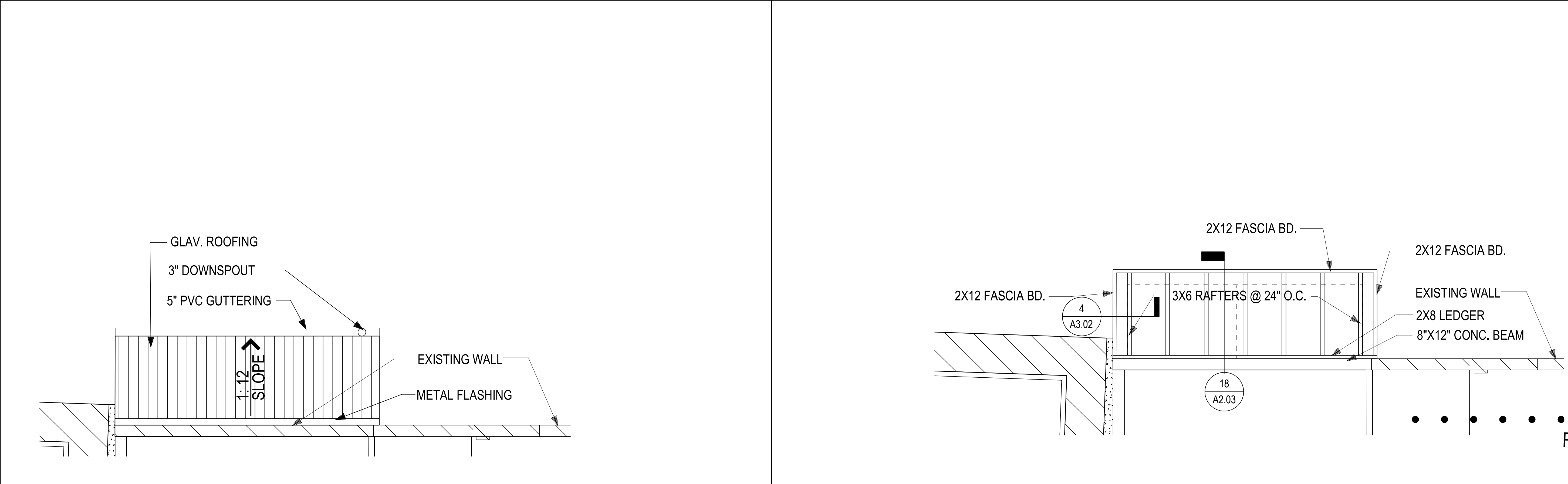
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1	RESTROOM #3	4	ROOF DETAIL OVER RESTROOM #3	5	COLUMN DETAIL
SCALE: 3/8" = 1'-0"		SCALE: 1" = 1'-0"		SCALE: 1" = 1'-0"	



2	ROOF PLAN OVER RESTROOM #3	3	ROOF FRAMING PLAN OVER RESTROOM #3
SCALE: 3/8" = 1'-0"		SCALE: 3/8" = 1'-0"	



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ROOF PLAN OVER
RESTROOM #3
BUILDING F

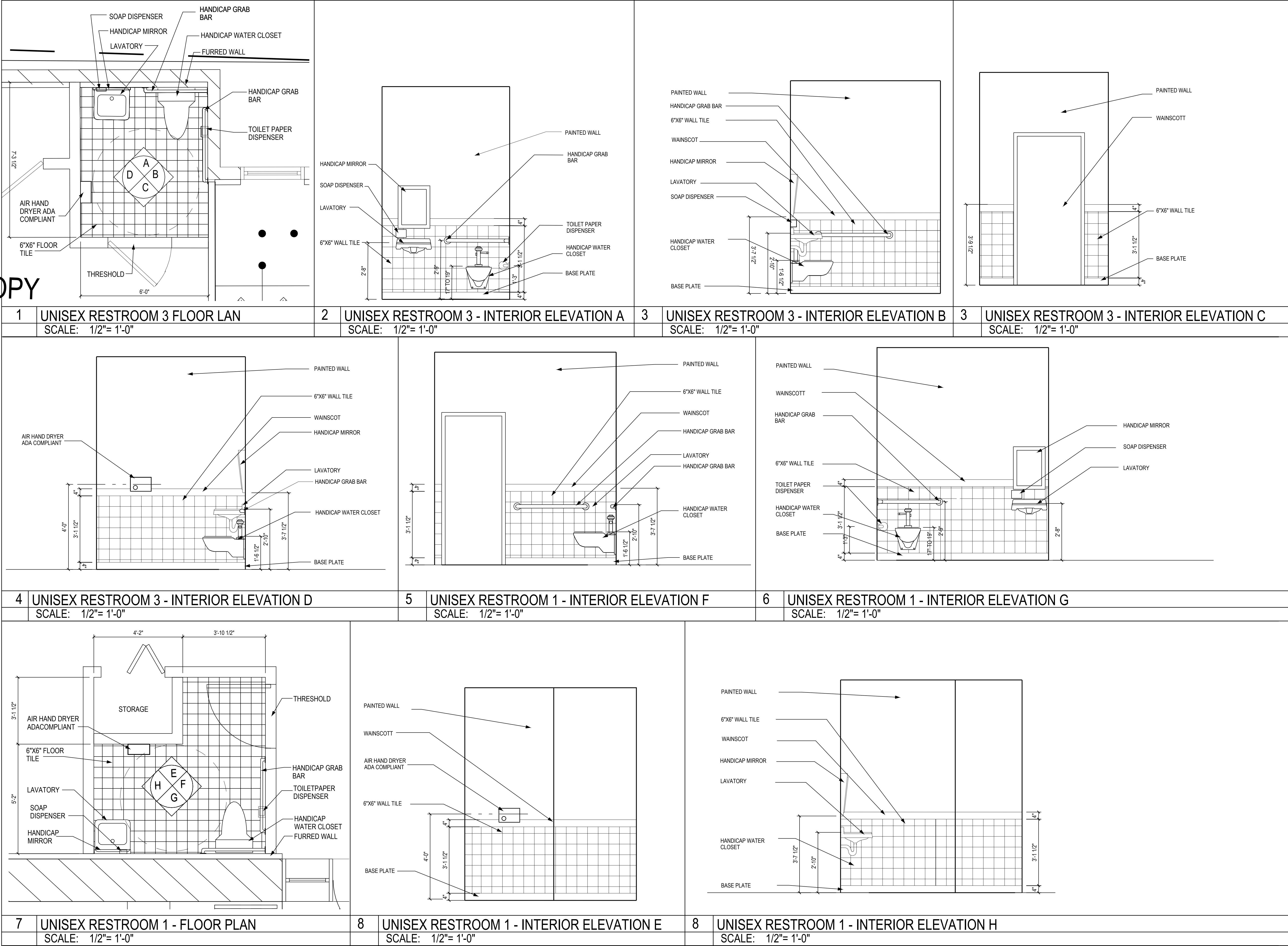
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RAMP NO. 3

A3.02

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INTERIOR RESTROOM
ELEVATIONS

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Temporary Transition Area
Kronprindsens Quarter
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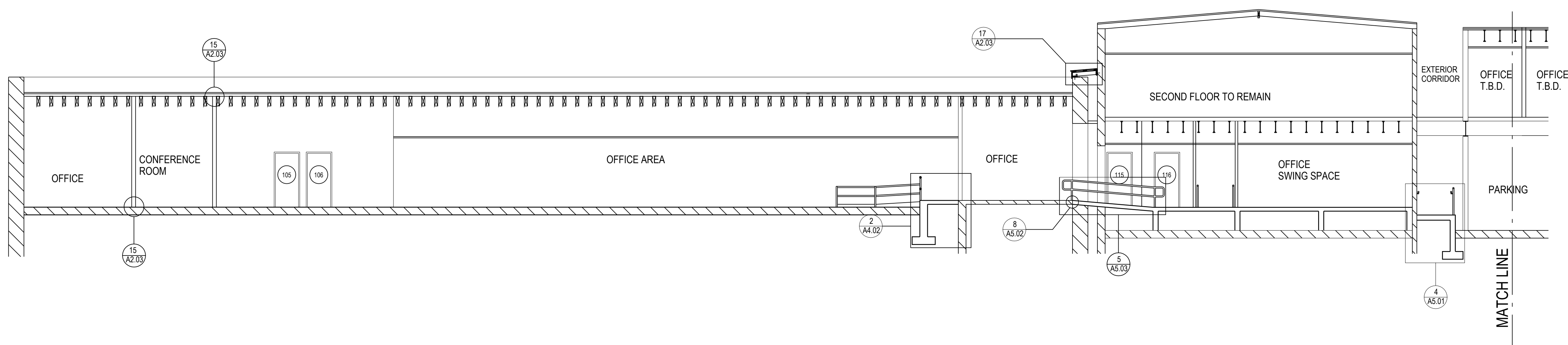
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SECTION A-A
& DETAILS

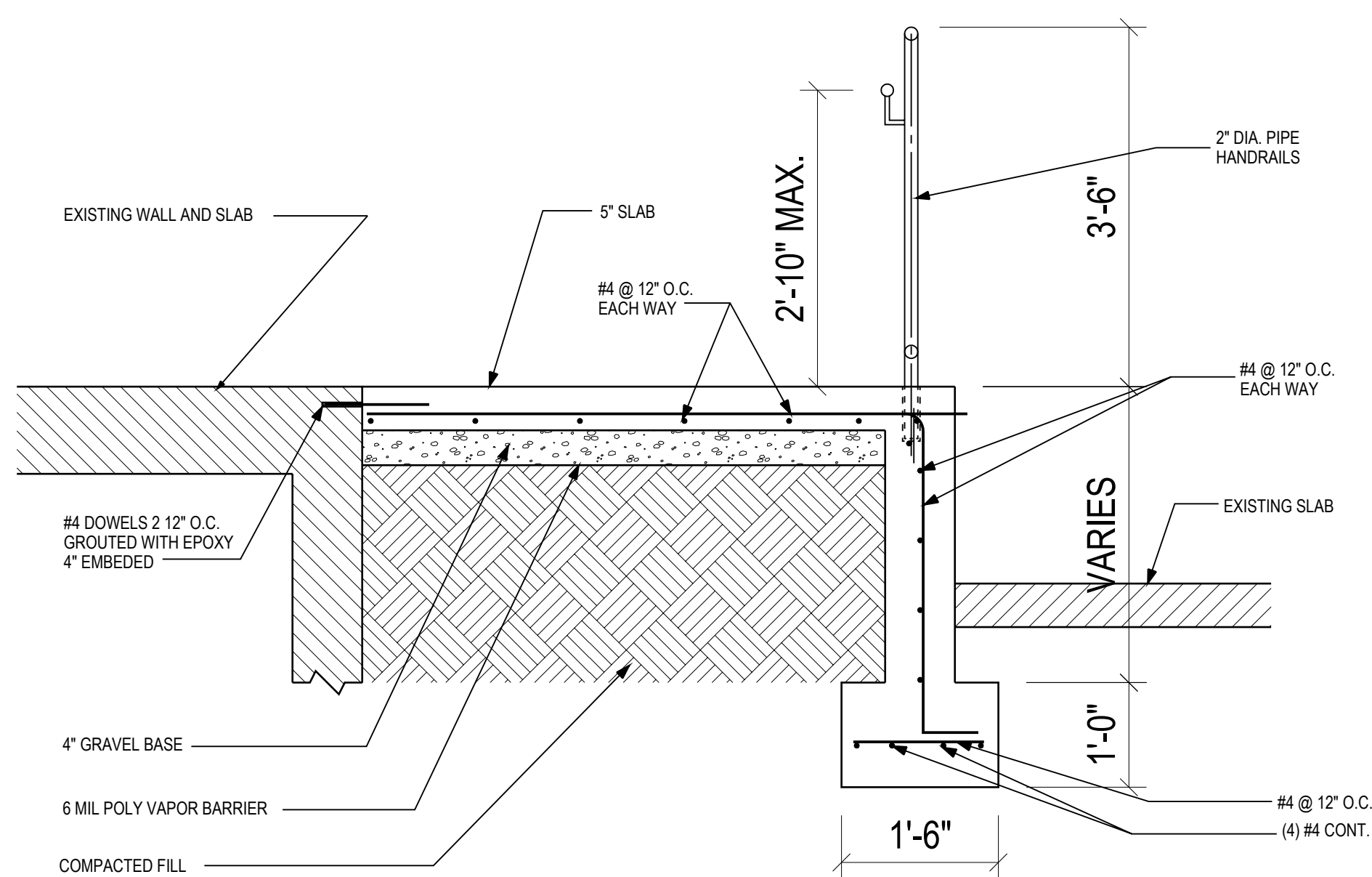
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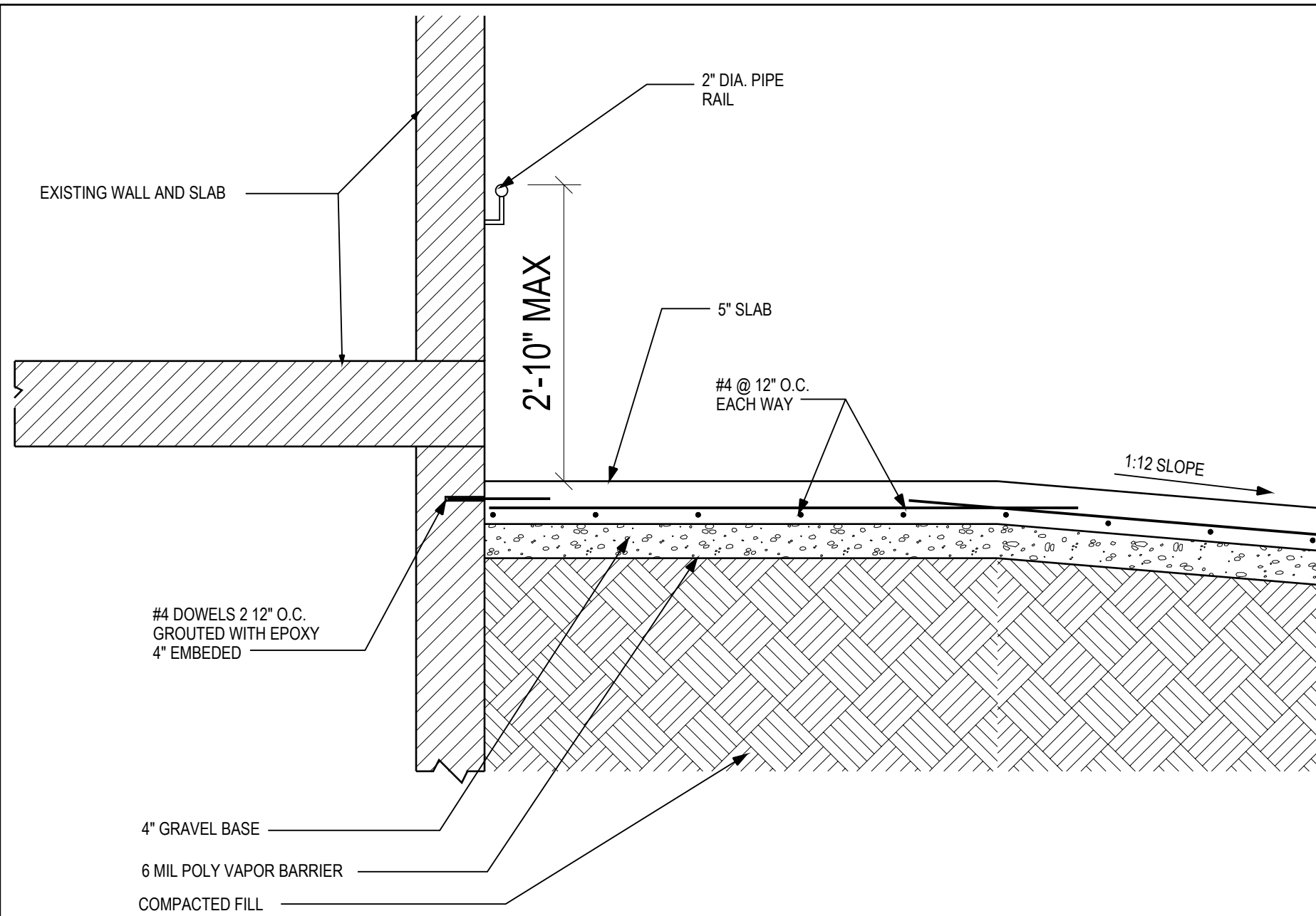
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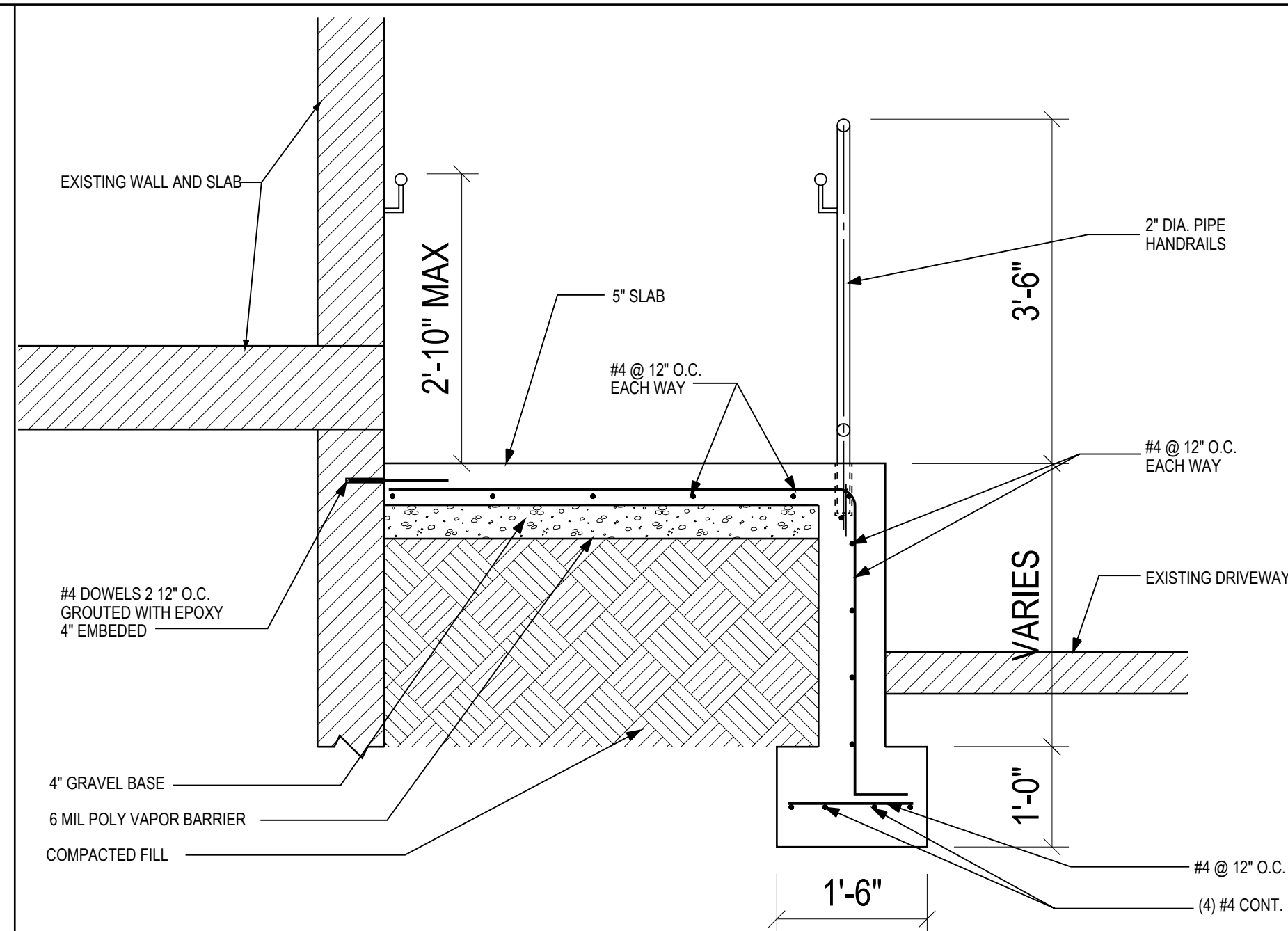
1 SECTION A-A
SCALE: 1/8" = 1'-0"



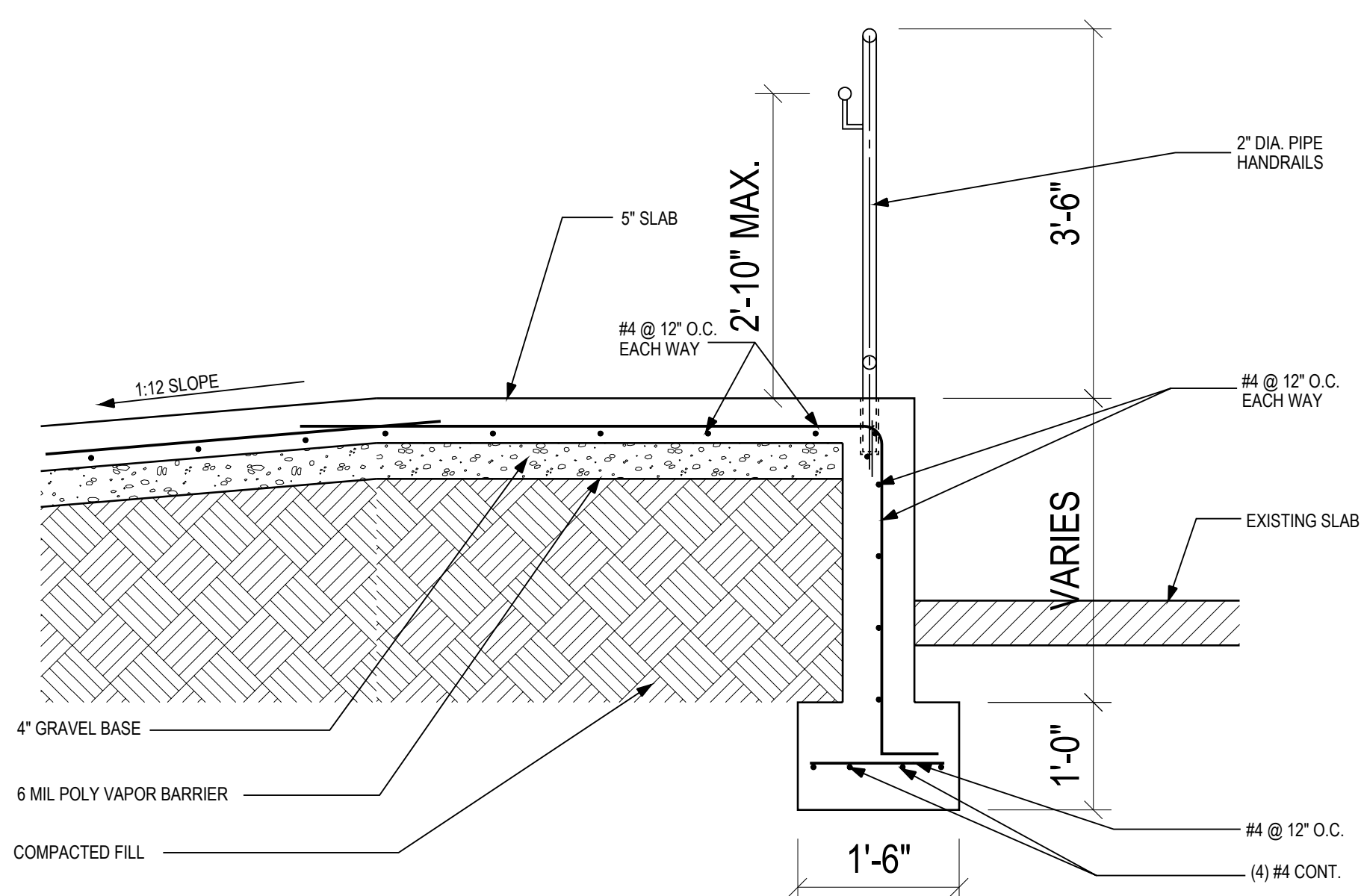
2 RAMP DETAIL
SCALE: 3/4" = 1'-0"



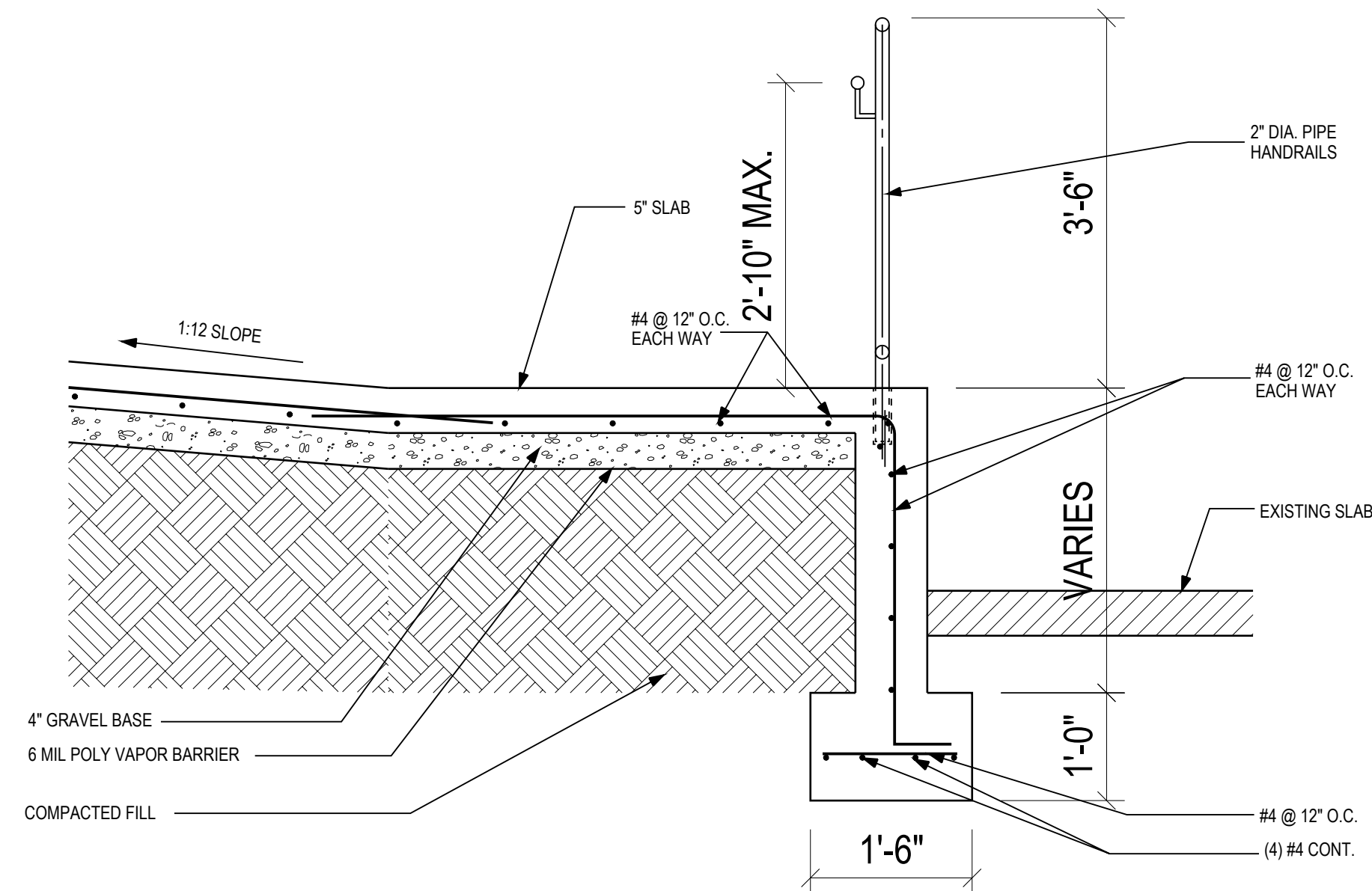
3 RAMP DETAIL
SCALE: 3/4" = 1'-0"



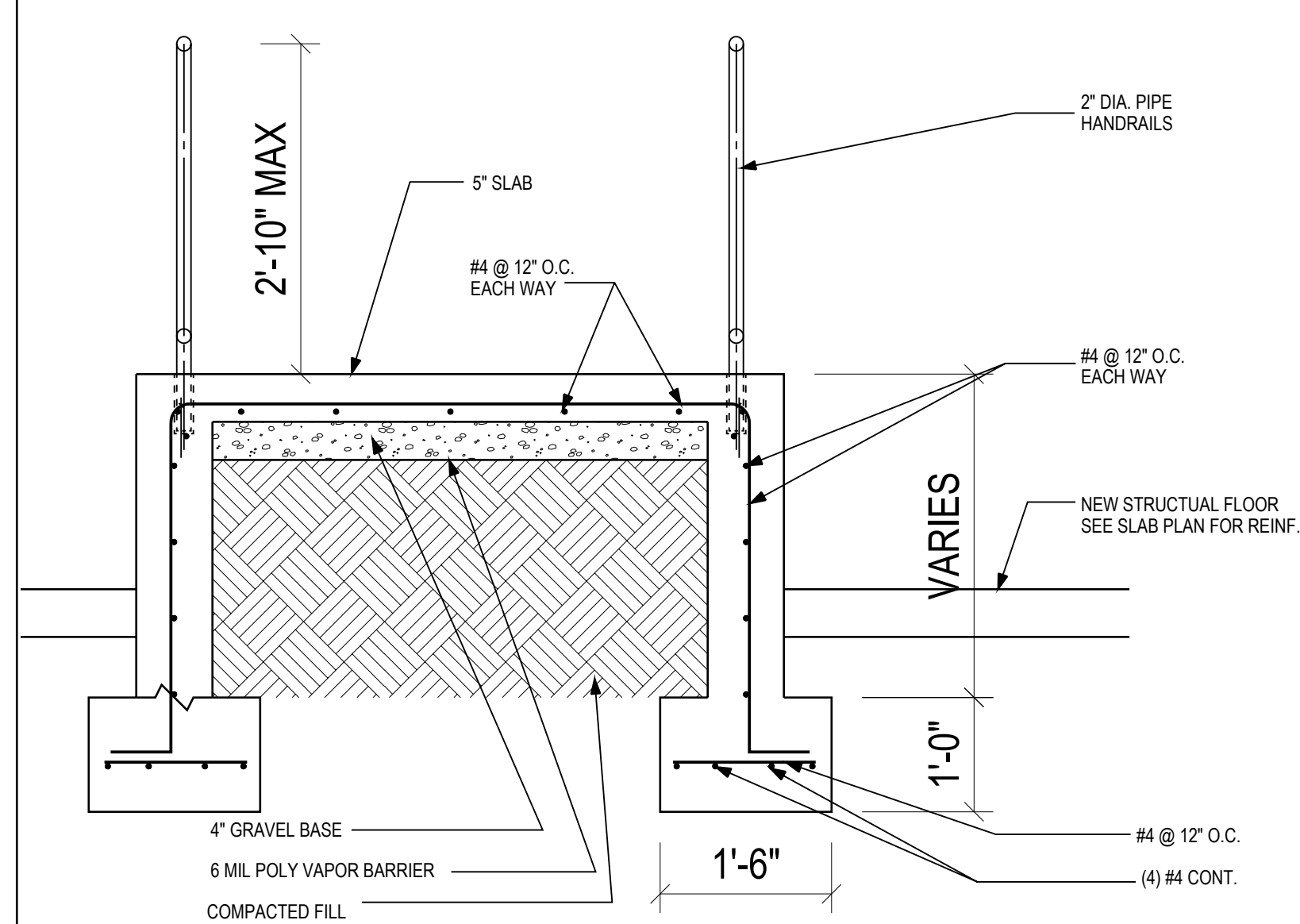
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SCALE: 3/4" = 1'-0"



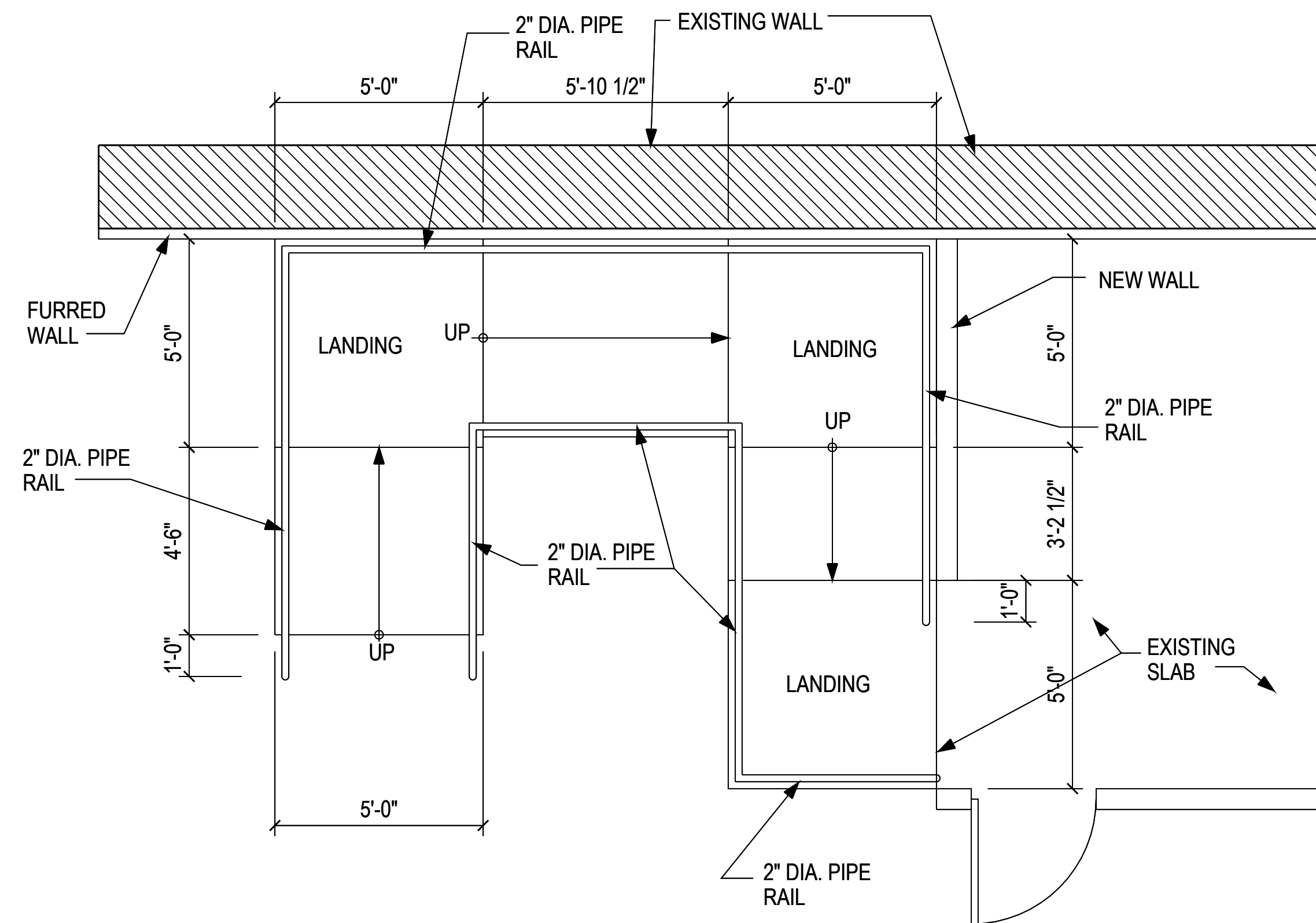
5 RAMP DETAIL
SCALE: 3/4" = 1'-0"



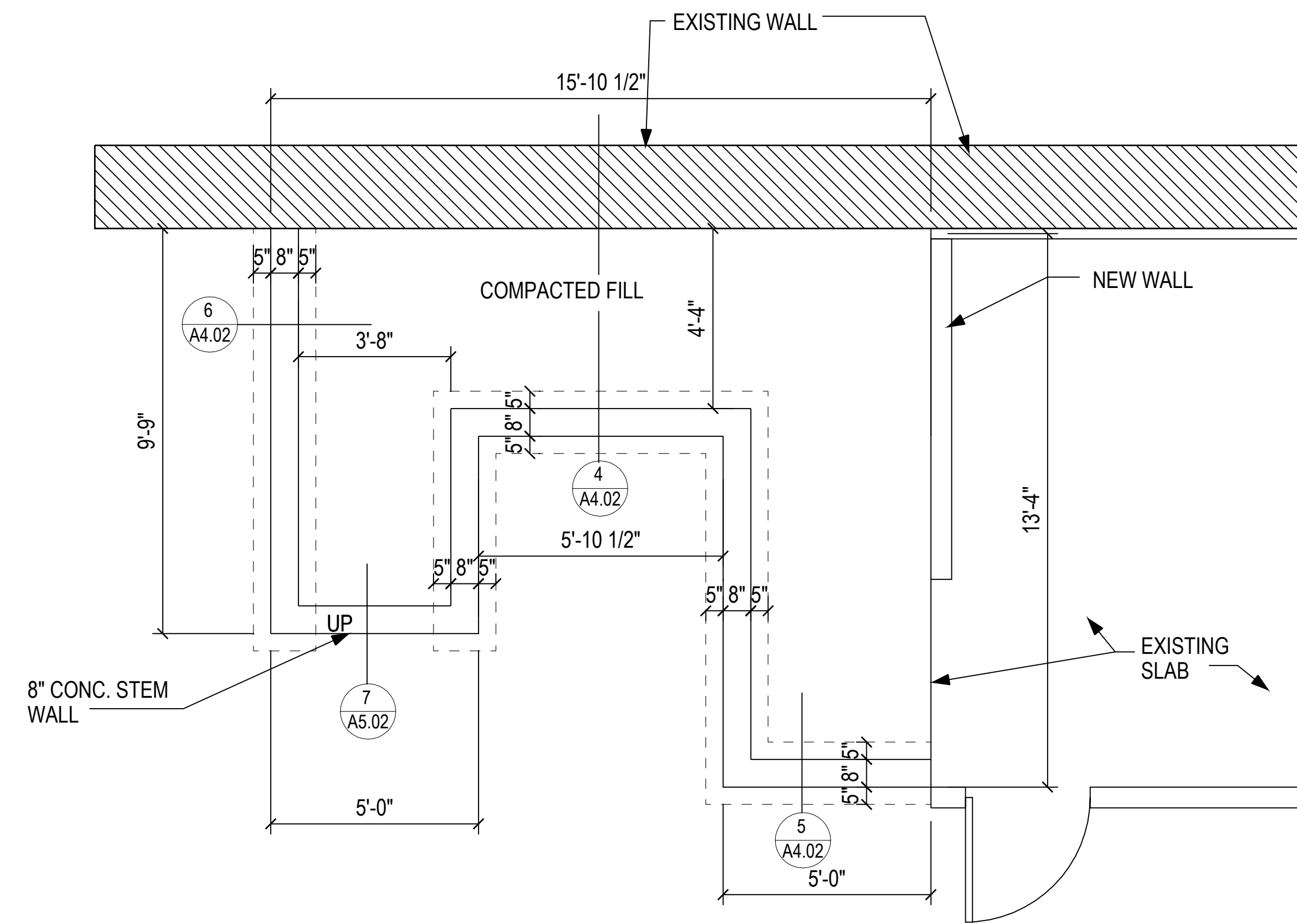
6 RAMP DETAIL
SCALE: 3/4" = 1'-0"



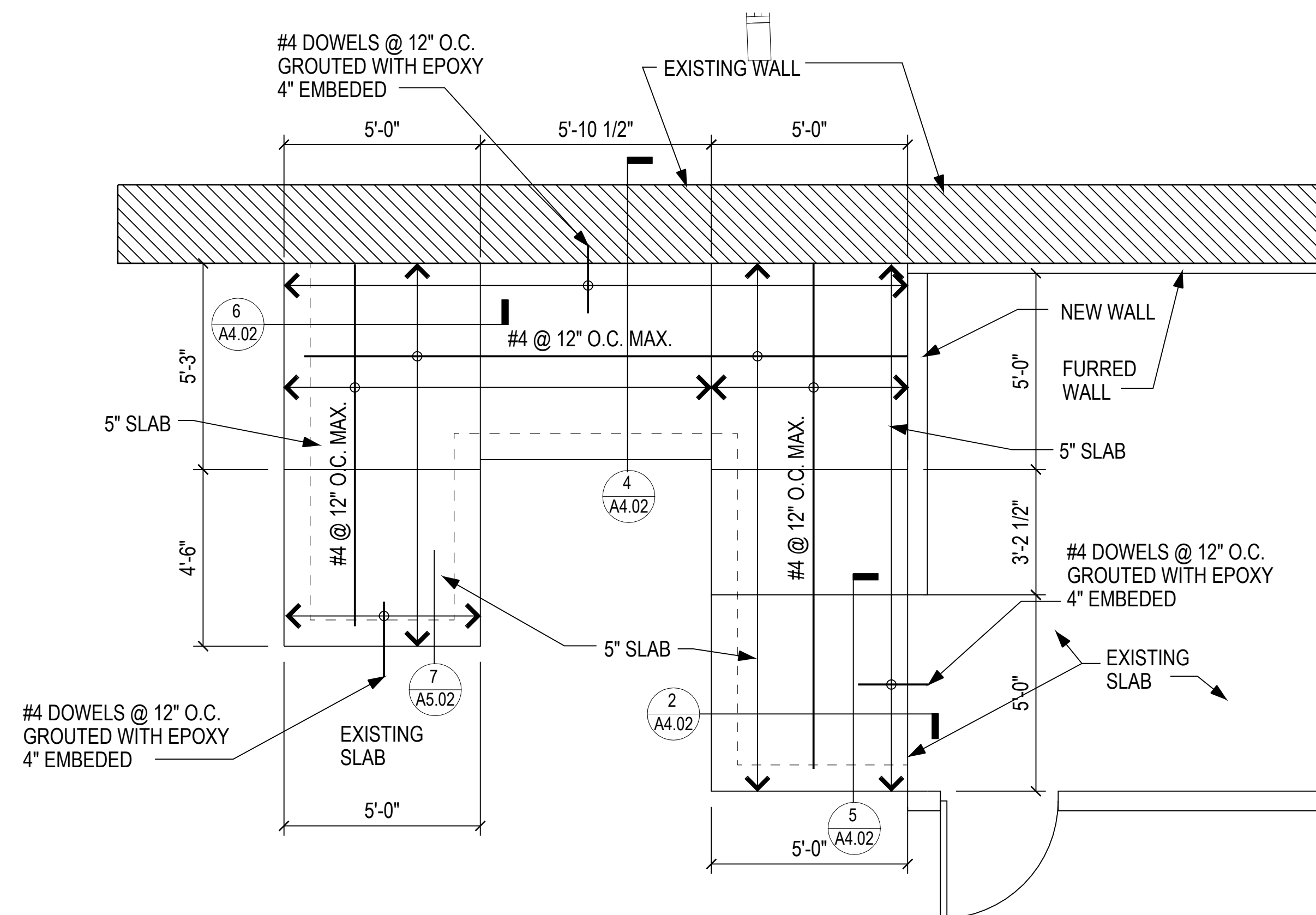
7 RAMP DETAIL
SCALE: 3/4" = 1'-0"



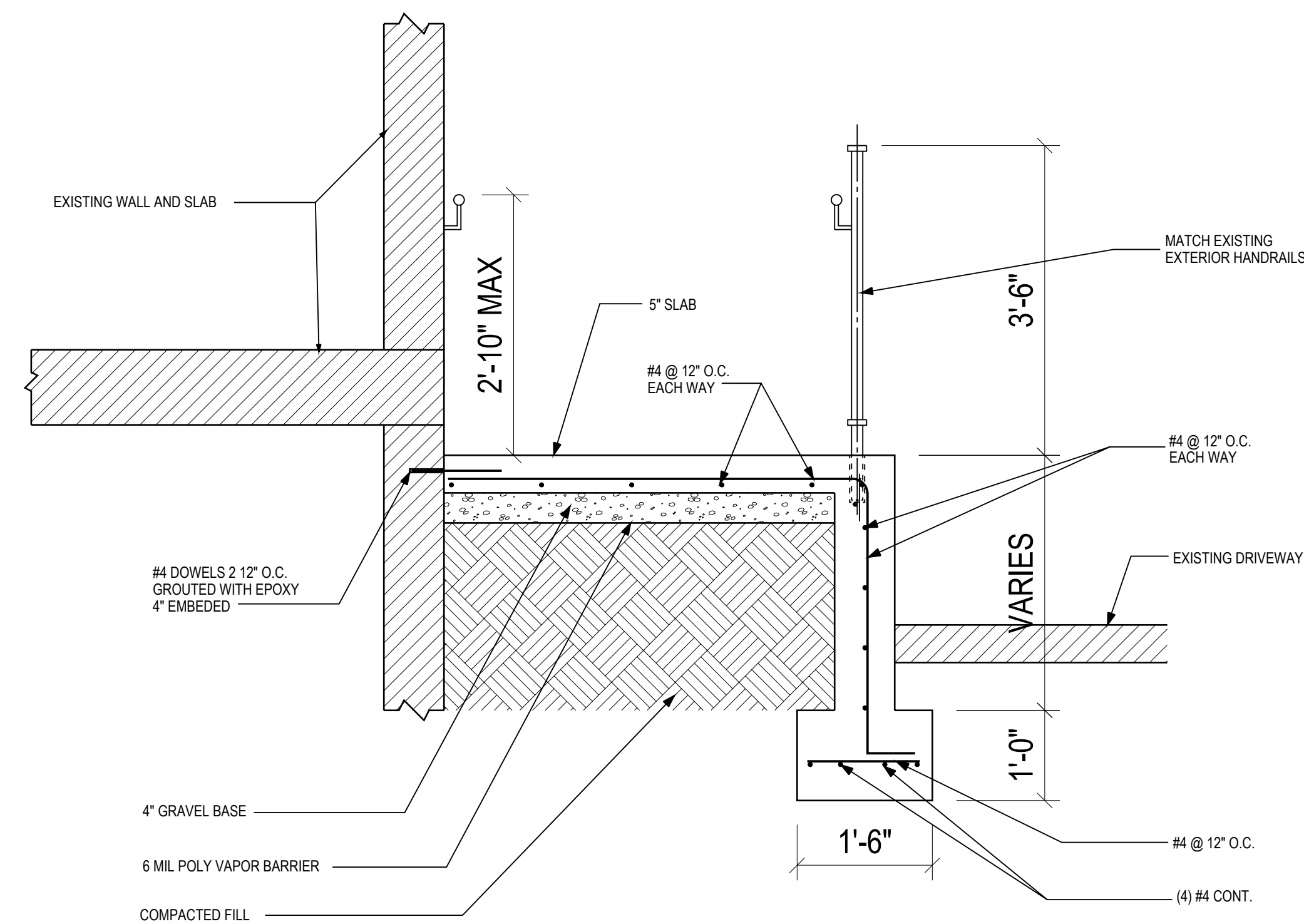
1	RAMP 1 FLOOR PLAN
	SCALE: 3/8" = 1'-0"



2	RAMP 1 FOUNDATION PLAN
	SCALE: 3/8" = 1'-0"



3	RAMP 1 SLAB PLAN
	SCALE: 3/8" = 1'-0"



4	RAMP DETAIL
	SCALE: 3/4" = 1'-0"



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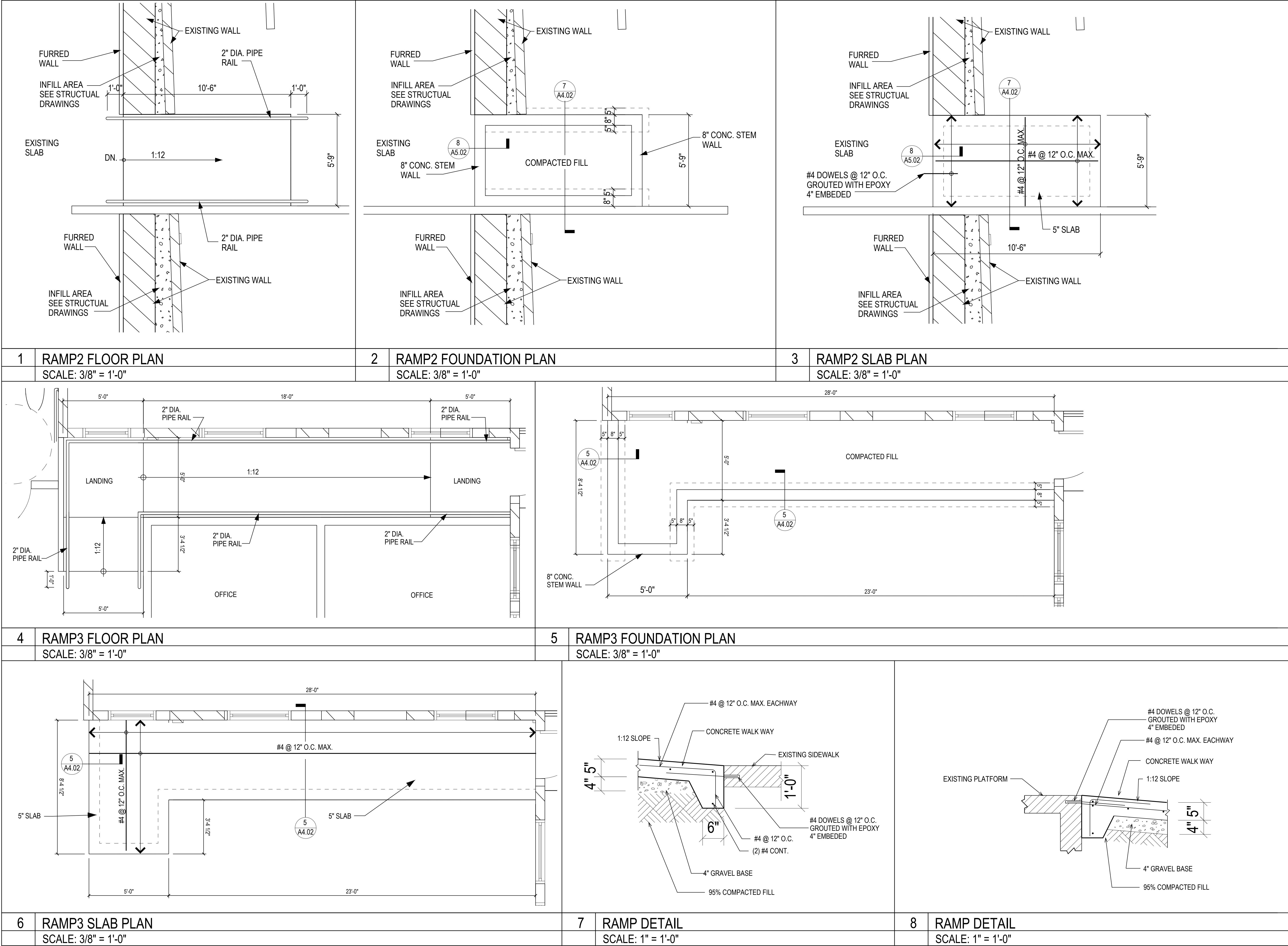
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RAMP 1 FLOOR, FOUNDATION, SLAB PLANS AND DETAILS

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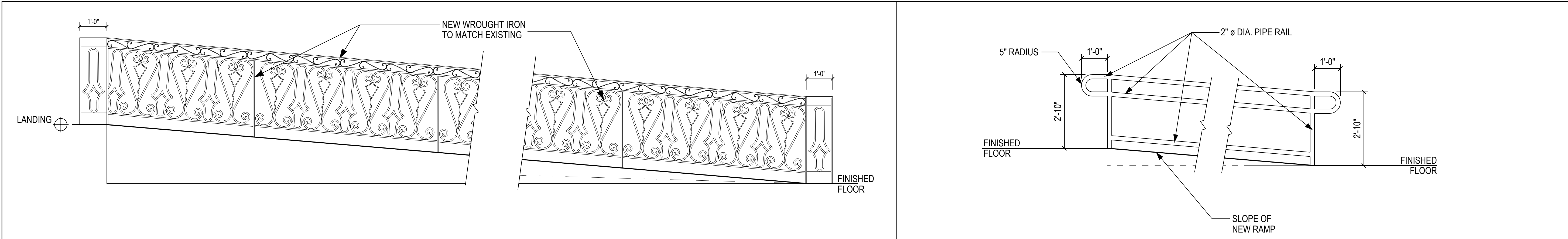
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RAMPS 2 & 3 FLOOR,
FOUNDATION & SLAB
PLANS
AND DETAILS

REVISIONS

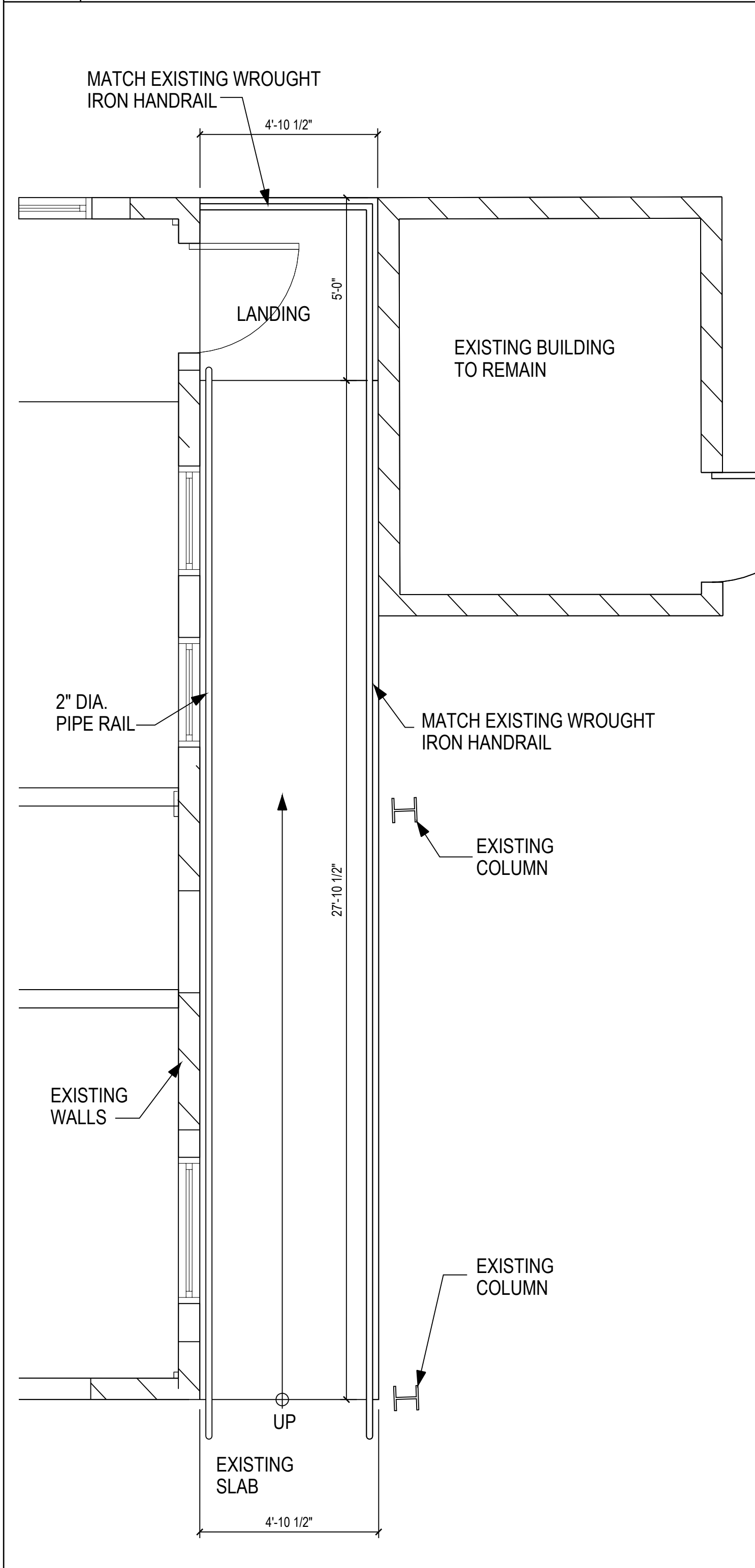
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A5.02

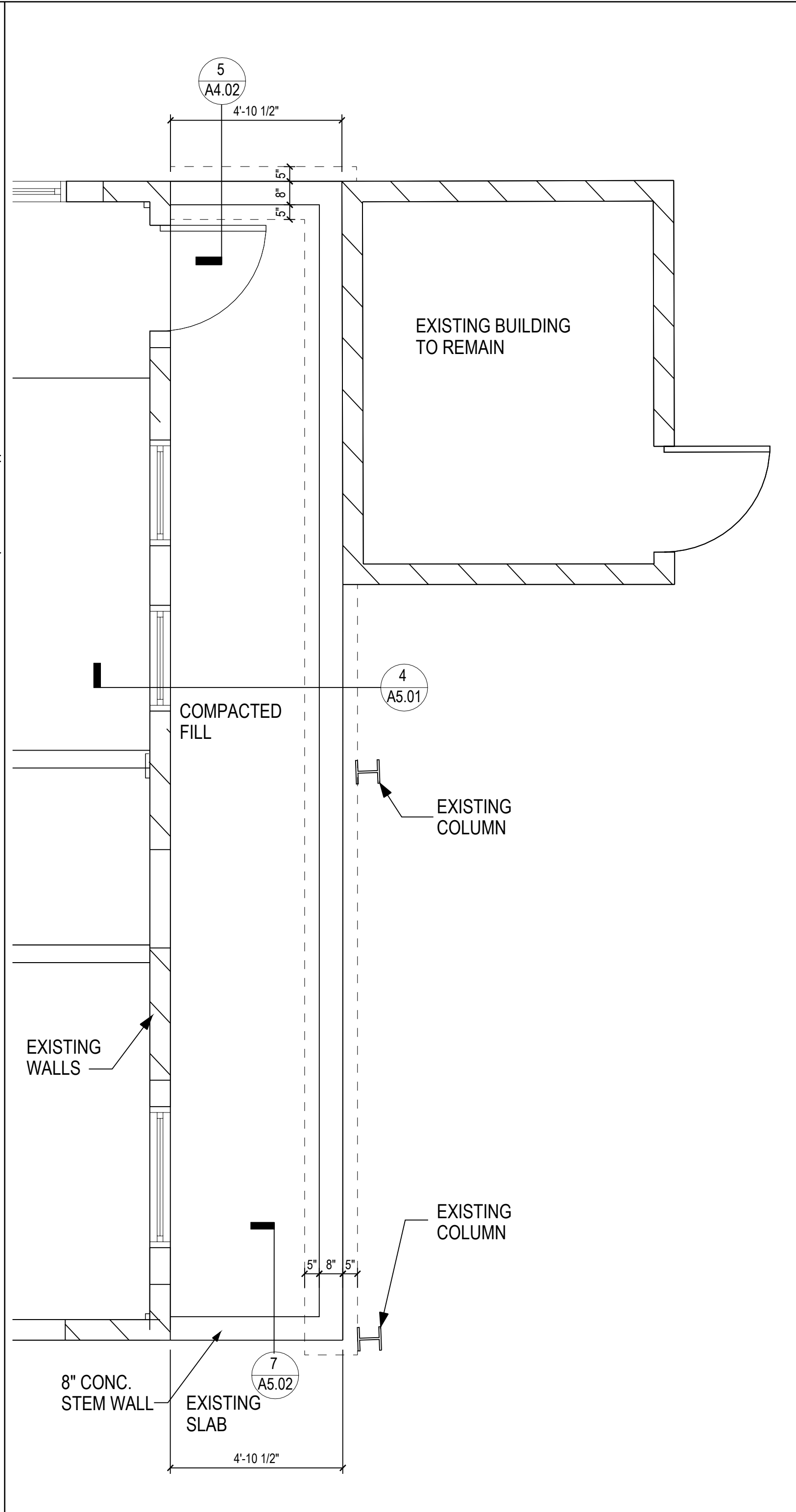


4 RAMP HANDRAIL DETAIL
SCALE: 1/2" = 1'-0"

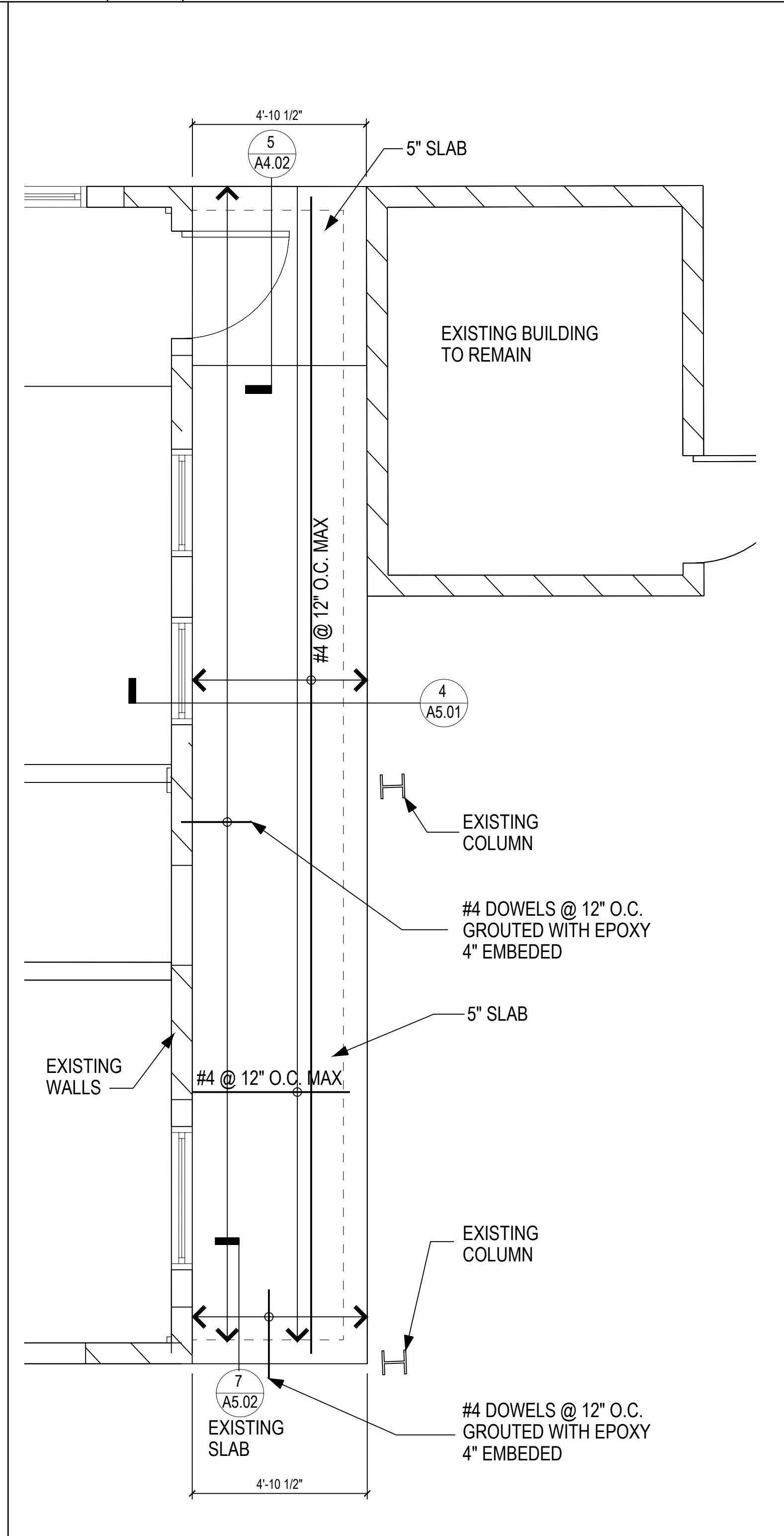
5 RAMP HANDRAIL DETAIL
SCALE: 1/2" = 1'-0"



1 RAMP 4 FLOOR PLAN
SCALE: 3/8" = 1'-0"



2 RAMP 4 FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



3 RAMP 4 SLAB PLAN
SCALE: 3/8" = 1'-0"



6 HANDRAIL DETAIL
NOT TO SCALE



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Temporary Transition Area

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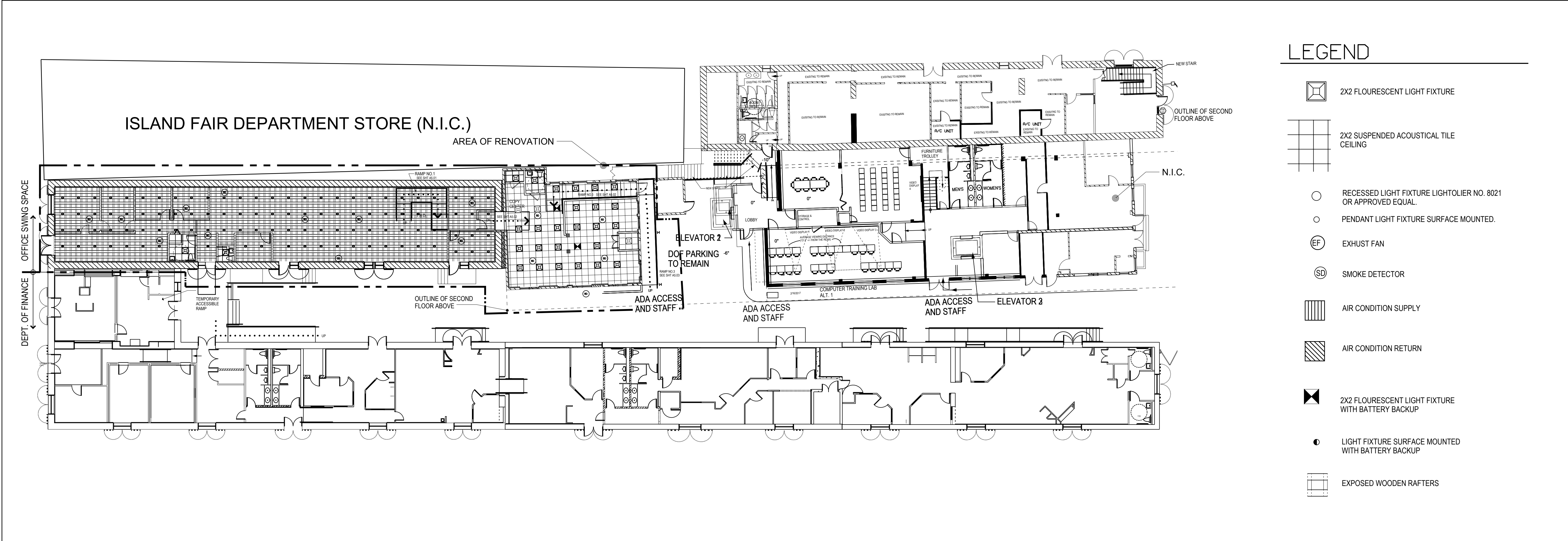
ISSUE FOR BID

RAMP 4 FLOOR,
FOUNDATION & SLAB
PLANS & DETAILS

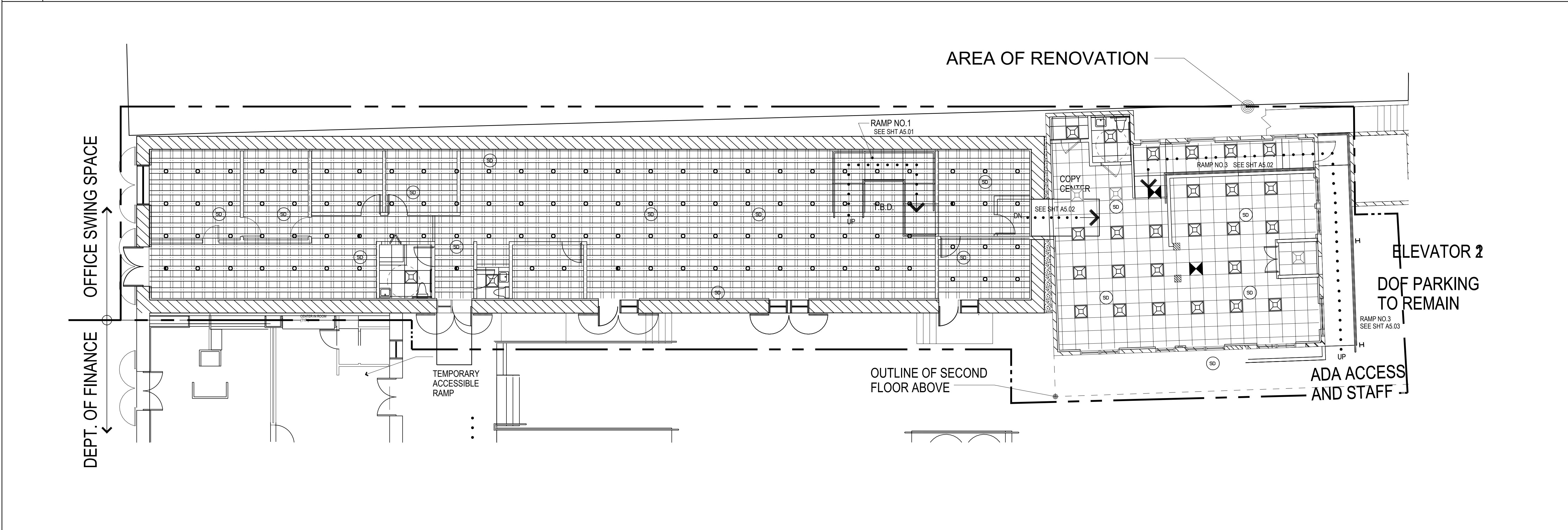
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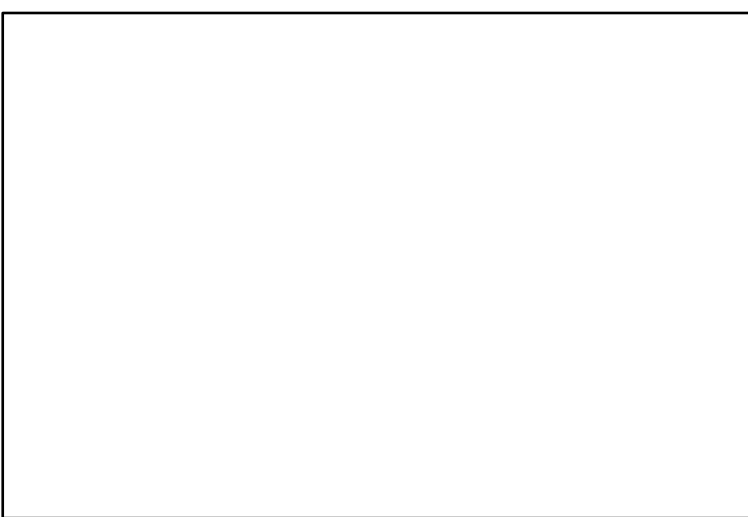
A5.03



1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/16" = 1'-0"



2 FIRST FLOOR REFLECTED CEILING PLAN (ENLARGEMENT)
SCALE: 1/8" = 1'-0"



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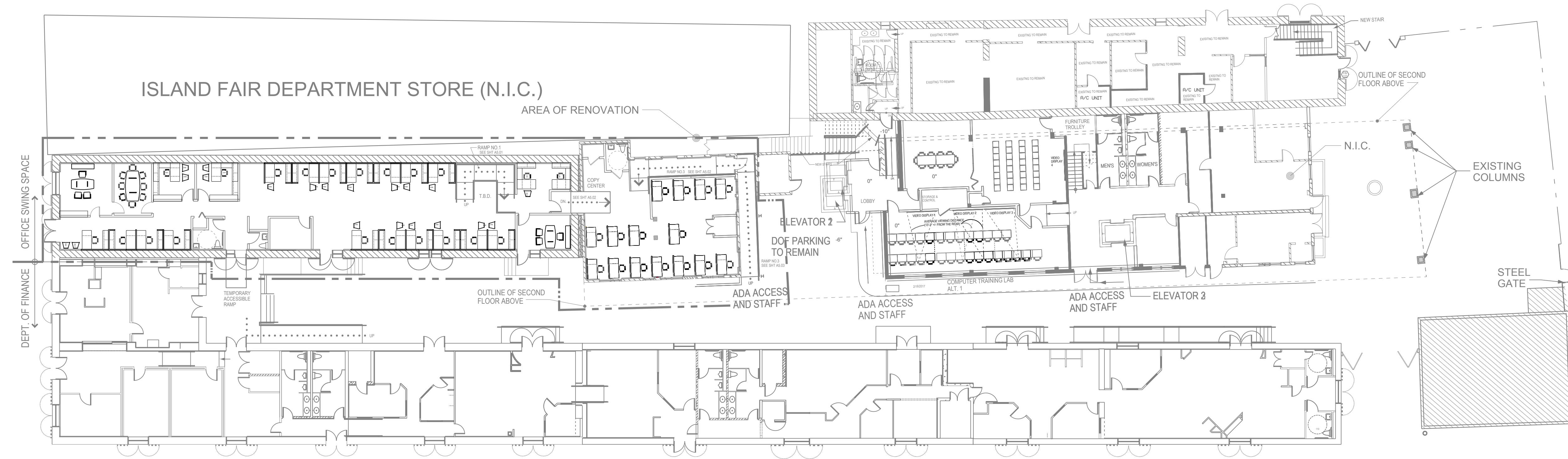
ISSUE FOR BID

FIRST FLOOR
REFLECTED CEILING
PLAN

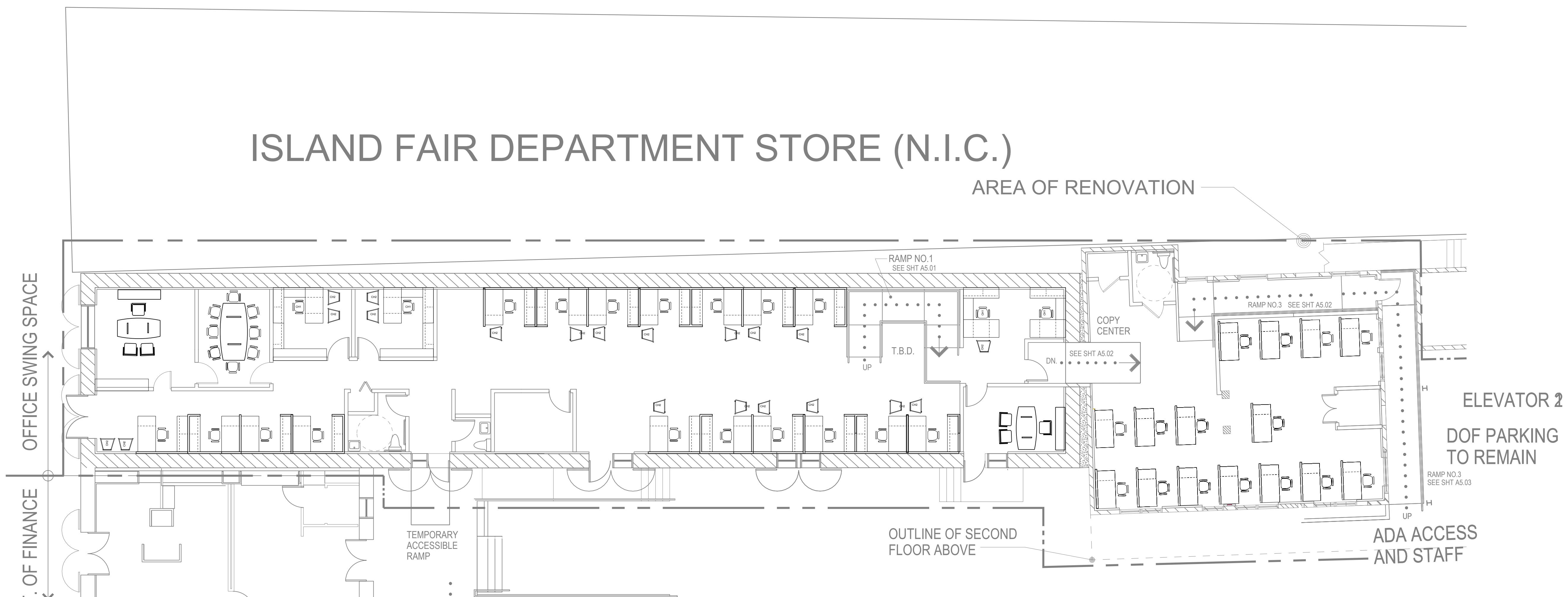
REVISIONS	

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JOB NO: 2017.1

A6.01



1 PROPOSED FIRST FLOOR FURNITURE LAYOUT
SCALE: 1/16" = 1'-0"



2 PROPOSED FIRST FLOOR FURNITURE LAYOUT (ENLARGEMENT PLAN)
SCALE: 1/8" = 1'-0"



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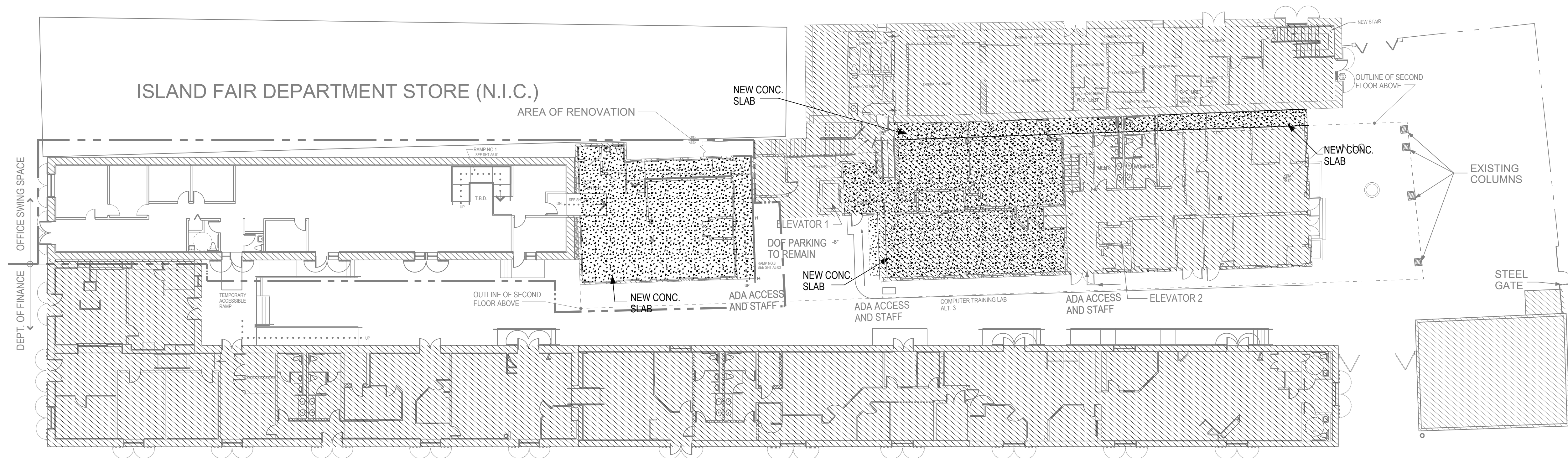
ISSUE FOR BID

PROPOSED FIRST FLOOR
FURNITURE LAYOUT

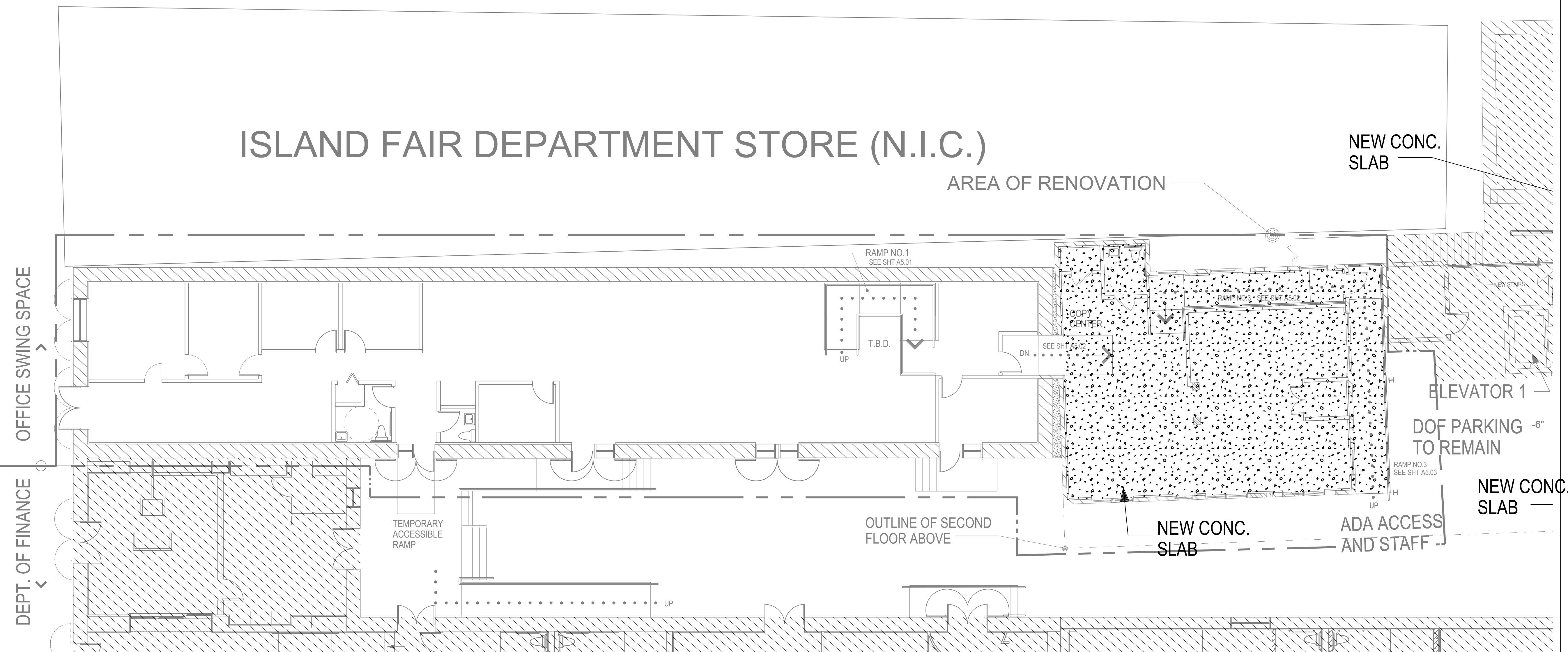
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DATE: 05/01/2018
JOB NO: 2017.1

A7.01



1 FIRST FLOOR STRUCTUAL SLAB PLAN
SCALE: 1/16" = 1'-0"



2 FIRST FLOOR STRUCTUAL SLAB PLAN
SCALE: 1/8" = 1'-0"

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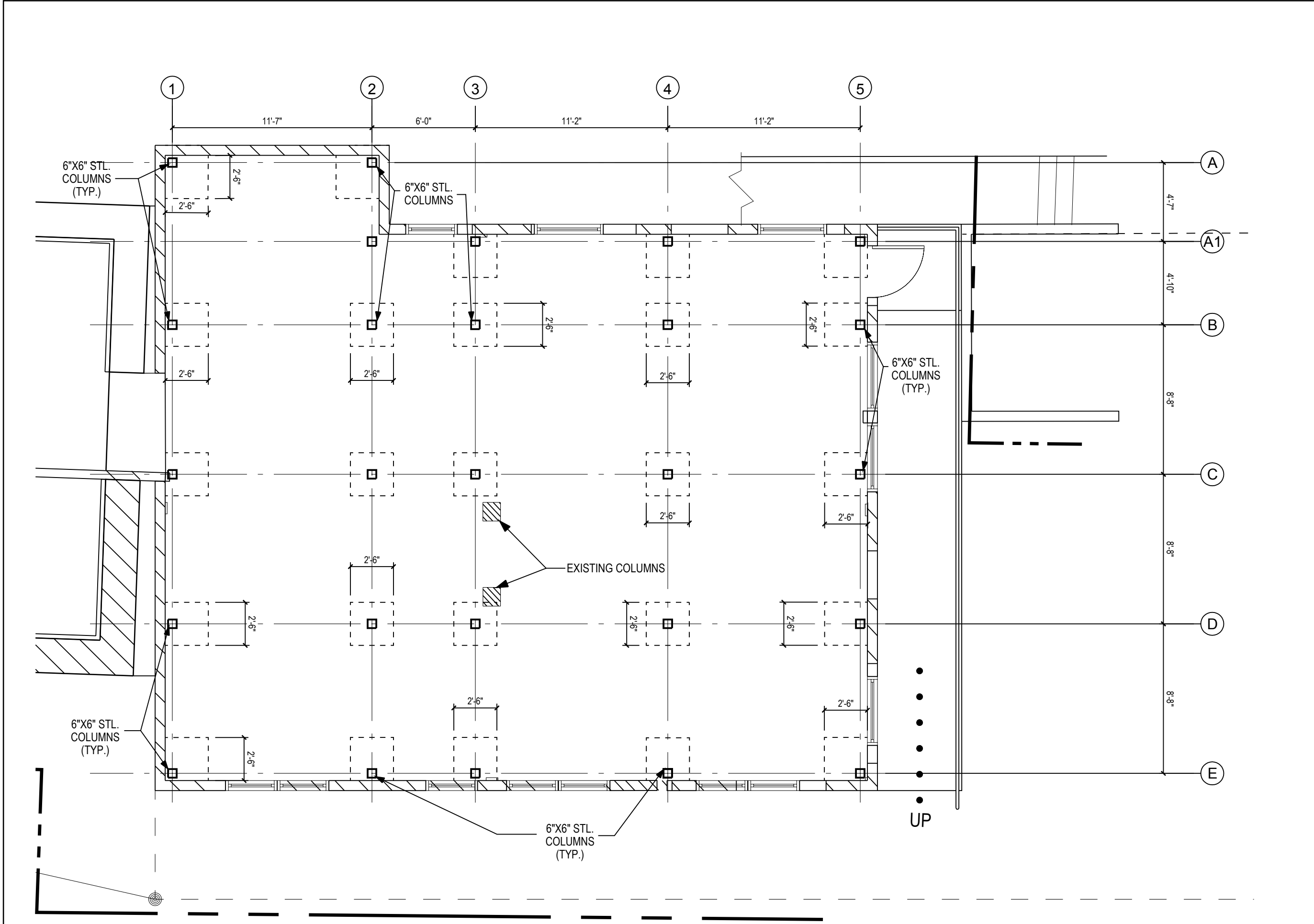
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PROPOSED FIRST FLOOR
STRUCTURAL SLAB PLAN

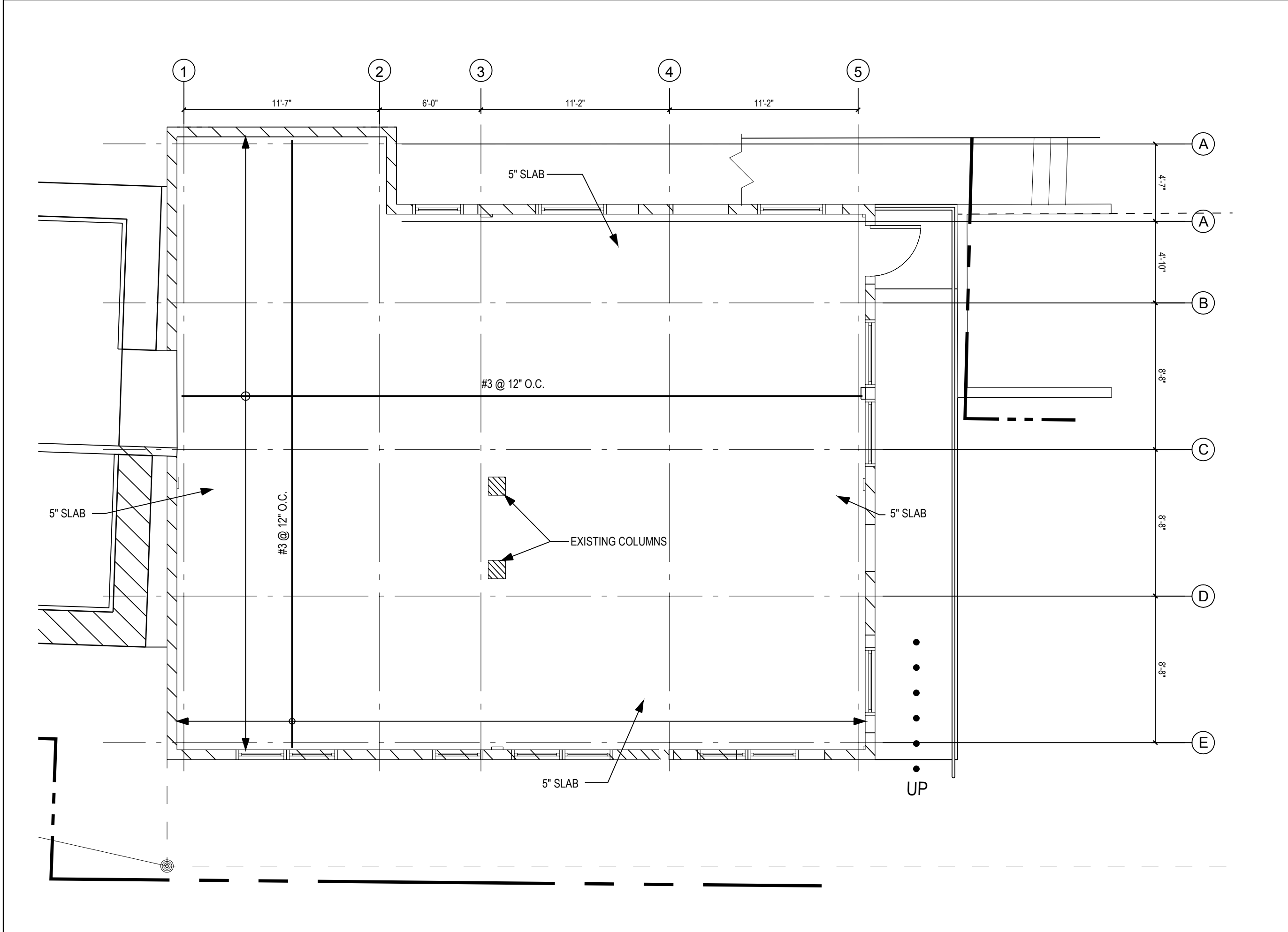
REVISIONS

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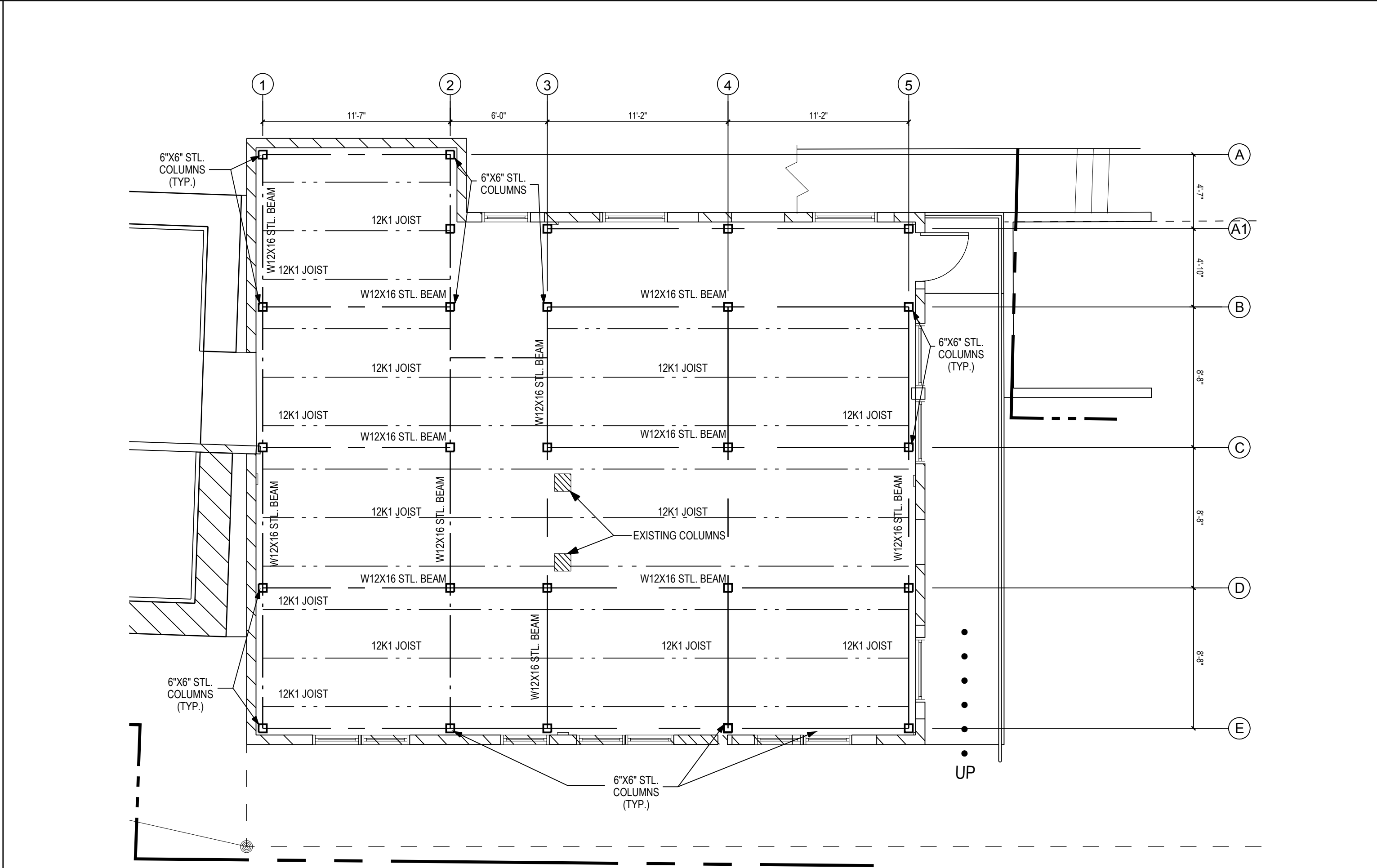
S1.01



1 BUILDING F FIRST FLOOR FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



3 BUILDING F FIRST FLOOR SLAB PLAN
SCALE: 3/16" = 1'-0"



2 BUILDING F FIRST FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"



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BUILDING F FIRST FLOOR
FOUNDATION, FLOOR
FRAMING & SLAB PLAN

REVISIONS

NO.	DESCRIPTION

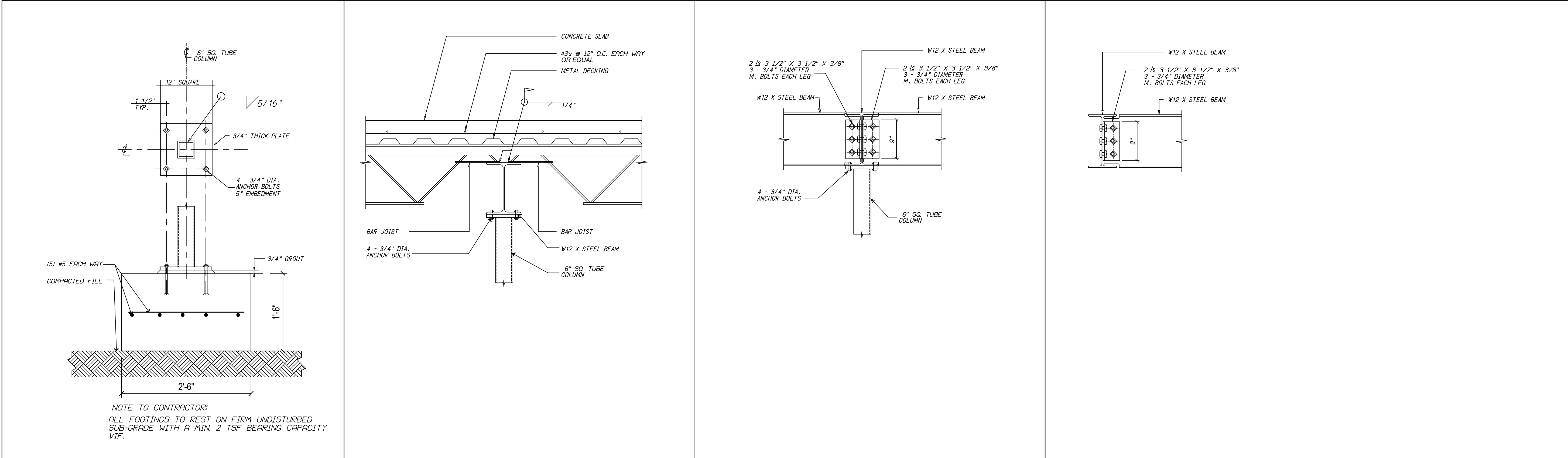
DRAWN BY: O.C.

CHECKED BY: D. deJongh

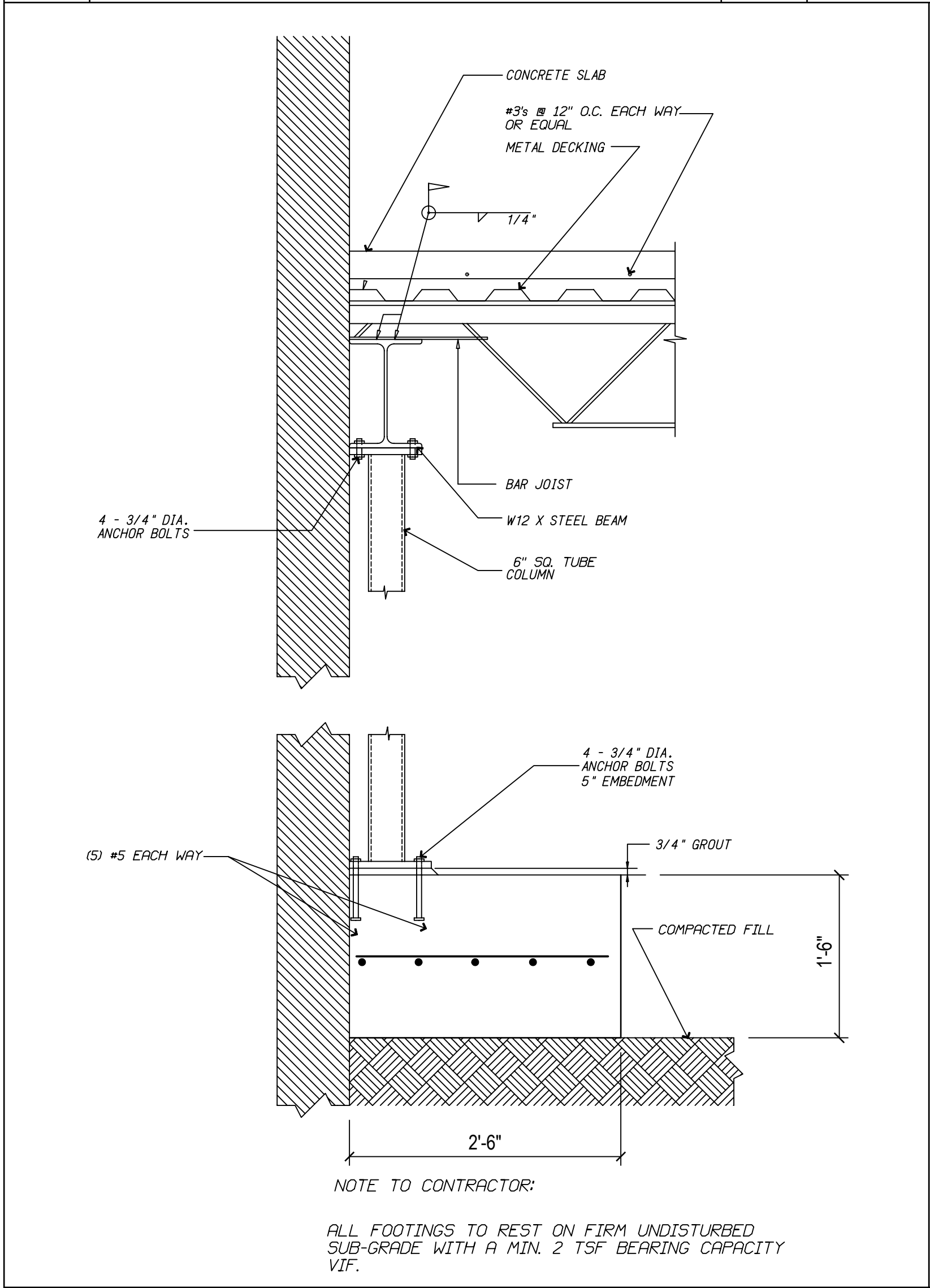
DATE: 05/01/2018

JOB NO: 2017.1

S1.02



1	BUILDING F DETAIL	2	BUILDING F DETAIL	3	BUILDING F DETAIL	4	BUILDING F DETAIL
	SCALE: 1" = 1'-0"		SCALE: 1" = 1'-0"		SCALE: 1" = 1'-0"		SCALE: 1" = 1'-0"



NOTE: METAL DECKING

DECK TYPE 3C 20 GAUGE NORMAL WEIGHT CONCRETE
145PCF. TOTAL SLAB THICKNESS 5" SHEAR STUDS @ 16" O.C.

5	BUILDING F DETAIL		
	SCALE: 1" = 1'-0"		



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BUILDING F FIRST
FLOOR DETAILS

REVISIONS

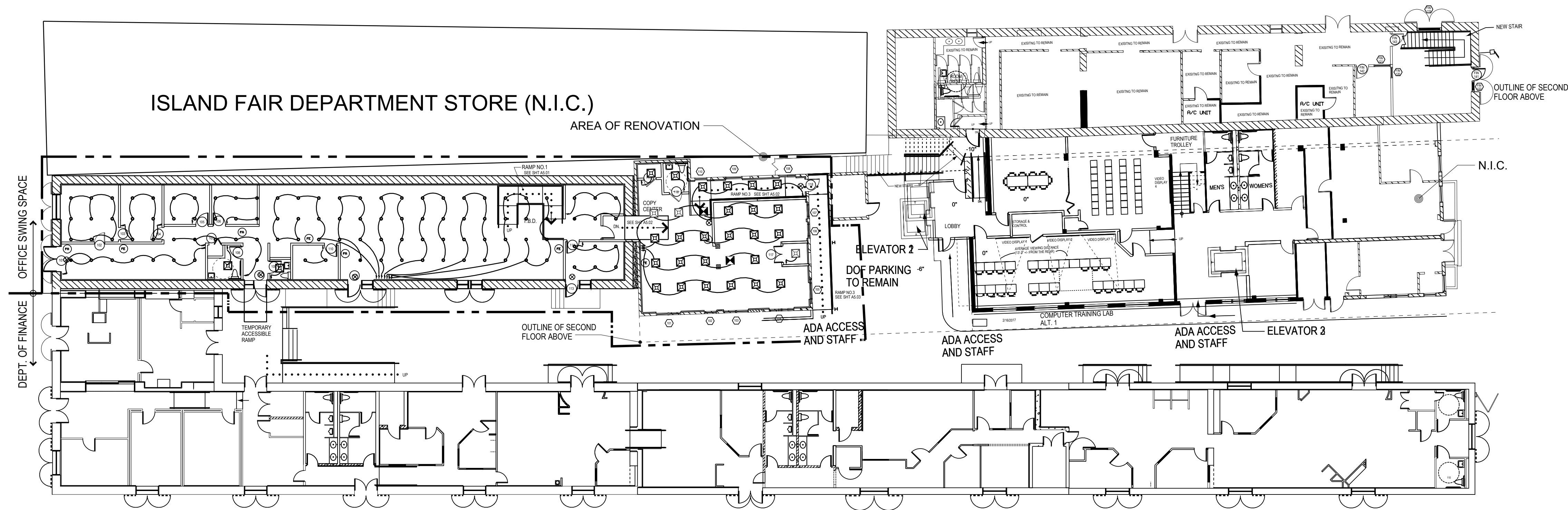
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JOB NO: 2017.1

S1.03



LEGEND

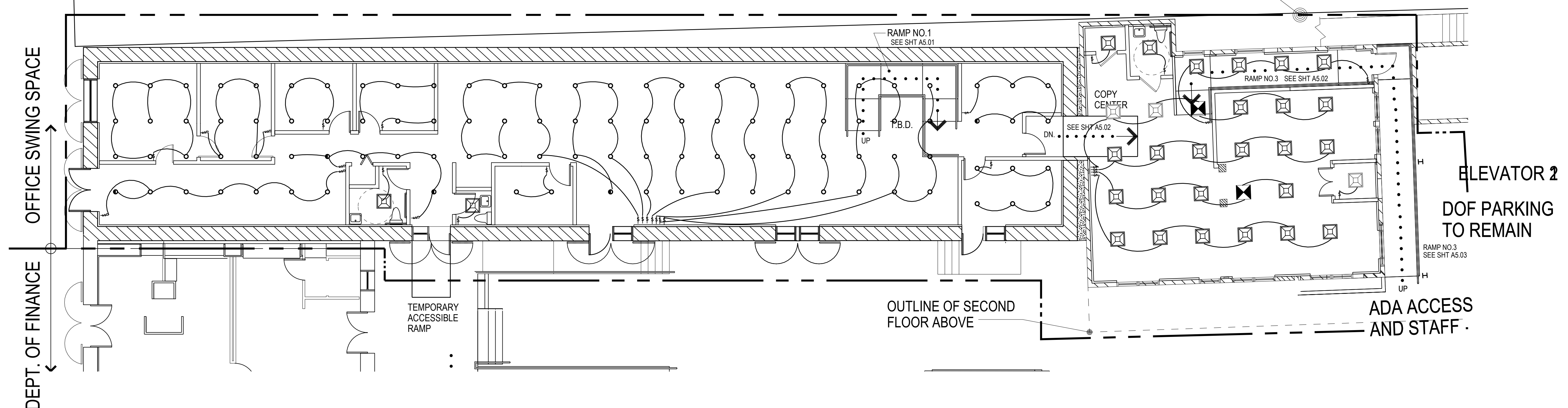
- 2X2 FLOURESCENT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE LIGHTOLIER NO. 8021 OR APPROVED EQUAL.
- PENDANT LIGHT FIXTURE SURFACE MOUNTED.
- 2X2 FLOURESCENT LIGHT FIXTURE WITH BATTERY BACKUP
- LIGHT FIXTURE SURFACE MOUNTED WITH BATTERY BACKUP
- SINGLE SWITCH
- THREE-WAY SWITCH
- HOME RUN TO PANEL BOX

1 FIRST FLOOR LIGHTING PLAN

SCALE: 1/16" = 1'-0"

ISLAND FAIR DEPARTMENT STORE (N.I.C.)

AREA OF RENOVATION



2 FIRST FLOOR LIGHTING PLAN

(ENLARGEMENT)

SCALE: 1/8" = 1'-0"



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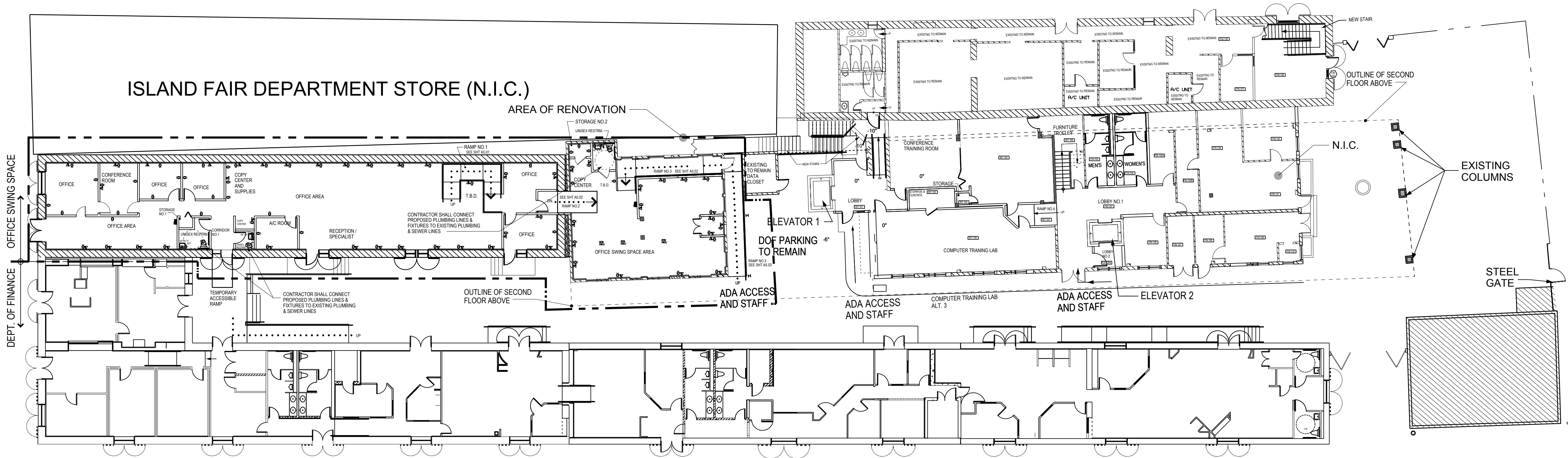
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FIRST FLOOR
LIGHTING PLAN

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DATE: 05/01/2018
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E1.01



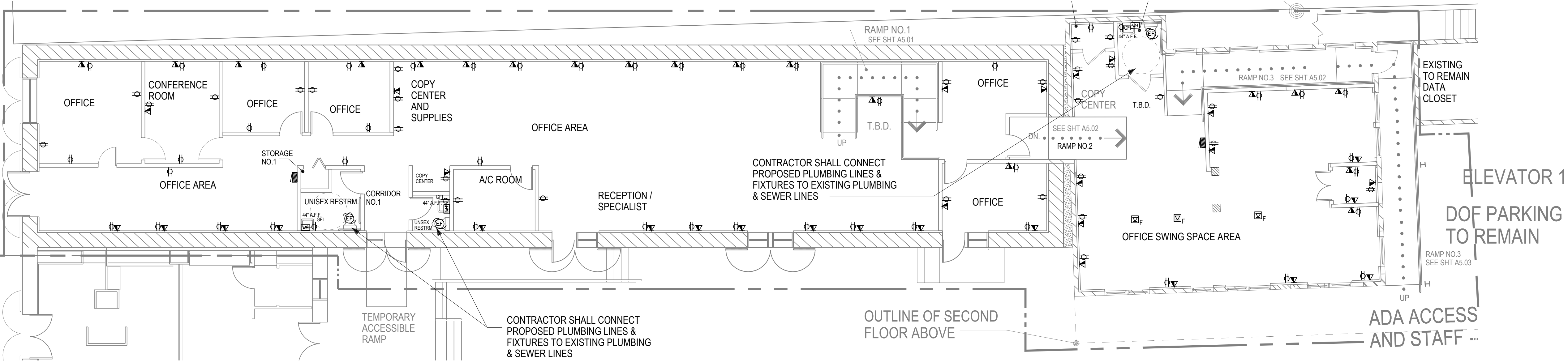
1 PROPOSED FIRST FLOOR POWER LAYOUT
SCALE: 1/16" = 1'-0"

ELECTRICAL LEGEND	
	ELECTRICAL PANEL BOX
	DUPLEX RECEPTACLE OUTLET
	GROUND FAULT INTERRUPTER
	TELEPHONE/DATA/ CABLE OUTLET
	EXHAUST FAN
	TELEPHONE/DATA/ CABLE OUTLET IN FLOOR

GENERAL ELECTRICAL NOTES:	
A.	ALL ELECTRICAL WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE LATE EDITION OF THE N.E.C.
B.	THE ELECTRICIAN SHALL OBTAIN ALL PERMITS AND PAY ALL FEES RELATED TO HIS WORK.
C.	ALL WIRING SHALL BE COPPER #12 OR LARGER. ALUMINUM WIRE IS NOT ACCEPTABLE.
D.	WIRE TYPE AWG IS PREFERRED.
E.	ALL WIRING SPLICES SHALL BE MADE USING 3M ELECTRICAL SPRING CONNECTORS OR EQUAL "TWIST-ONS" TO CORRECT SIZE. WIRE TAPED OR TWISTED IS NOT ACCEPTABLE.

F.	ALL CONDUITS INSTALLED IN CONCRETE OR MASONRY SHALL BE RIGID NON-METALLIC TYPE (P.V.C.). ALL OUTLETS AND SWITCH BOXES SHALL BE NON-METALLIC TYPE.
G.	GROUNDING CONDUCTORS SHALL BE CONNECTED TO NEUTRAL CONDUCTORS AT THE SERVICE ENTRANCE ONLY. CERTAIN EXCEPYIONS AS PERMITTED BY THE N.B.C. SHALL BE PERMITTED.
H.	ELECTRICAL SYSTEM LAYOUT INDICATED ON DRAWINGS ARE GENERALLY DIAGRAMMATIC AND LOCATION OF OUTLETS AND EQUIPMENT ARE APPROXIMATE; ROUTING OF RACEWAYS AND LOCATION OF OUTLETS AND EQUIPMENT SHALL BE GOVERNED BY STRUCTURAL CONDITIONS AND OBSTRUCTIONS.
I.	INCOMING POWER IS 208Y/120VOLTS WITH 1200 AMPS SERVICE DISCONNECT.

J.	ALL CONDUIT SWEEPS SHALL BE IN COMPLIANCE WITH THE N.E.C. CODE
----	--



2 PROPOSED FIRST FLOOR POWER LAYOUT (ENLARGEMENT)
SCALE: 1/8" = 1'-0"



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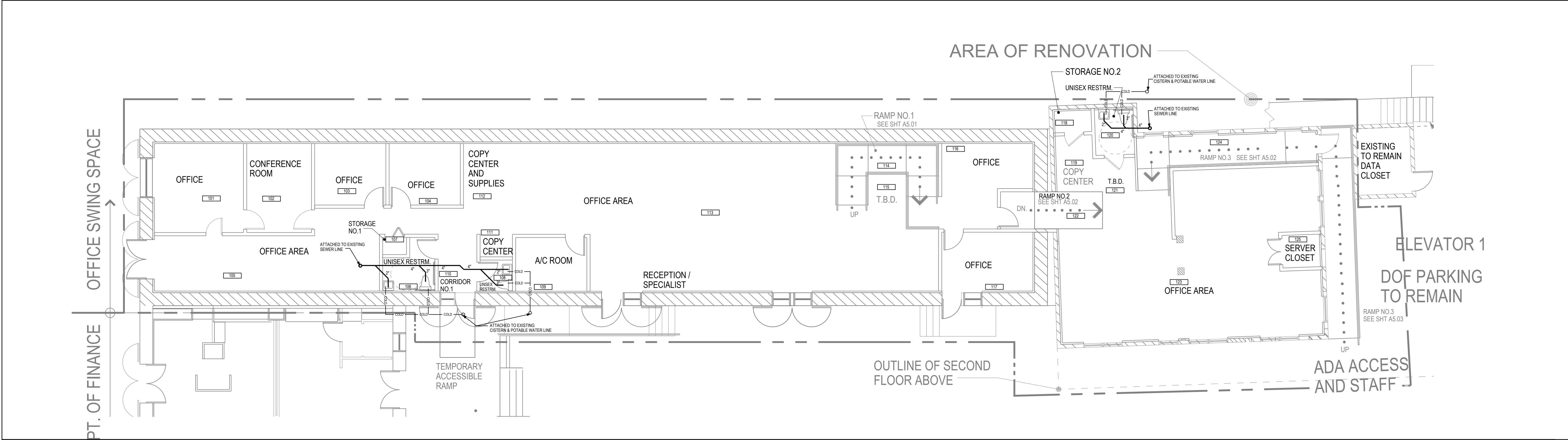
ISSUE FOR BID

PROPOSED FIRST FLOOR
POWER LAYOUT

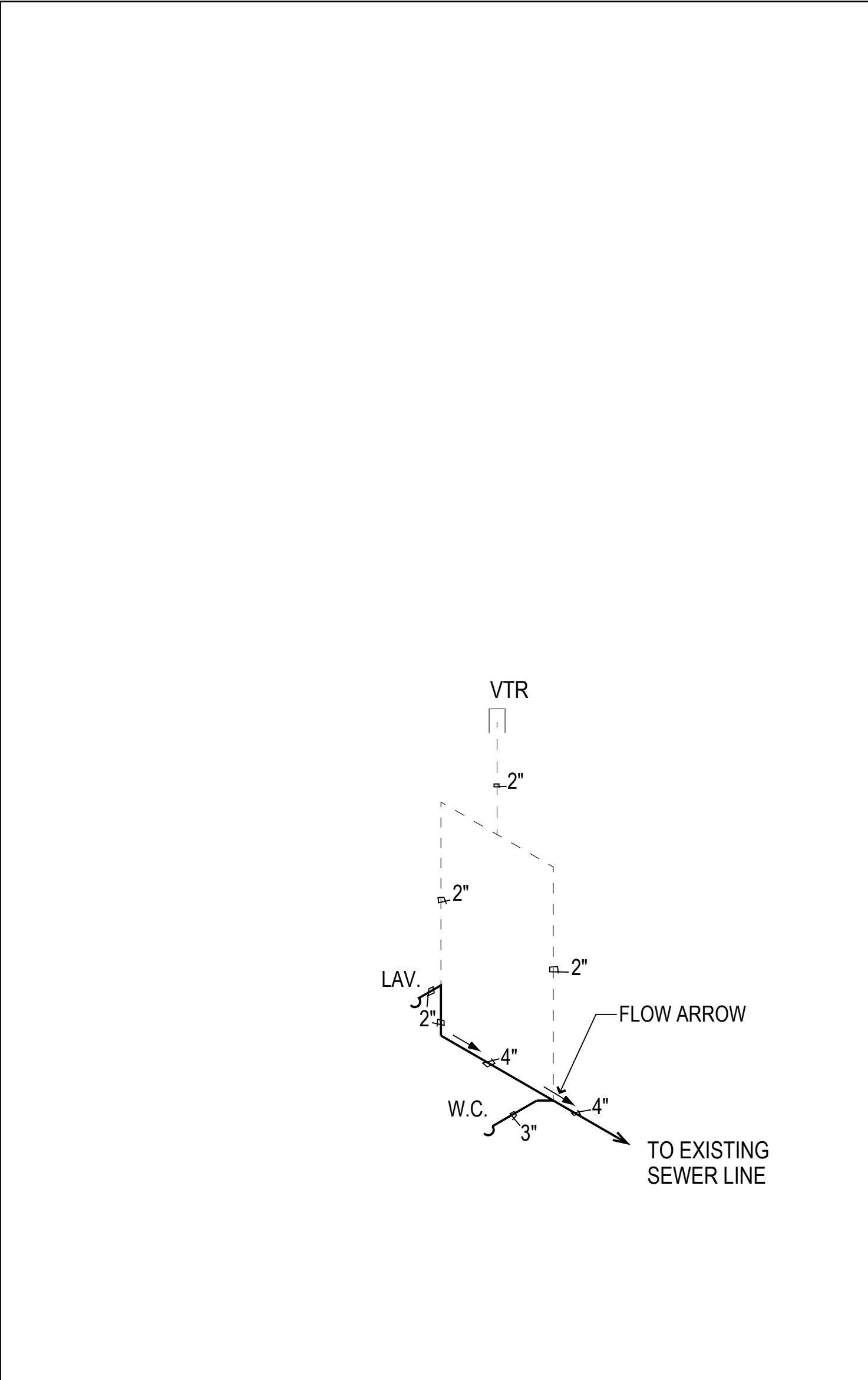
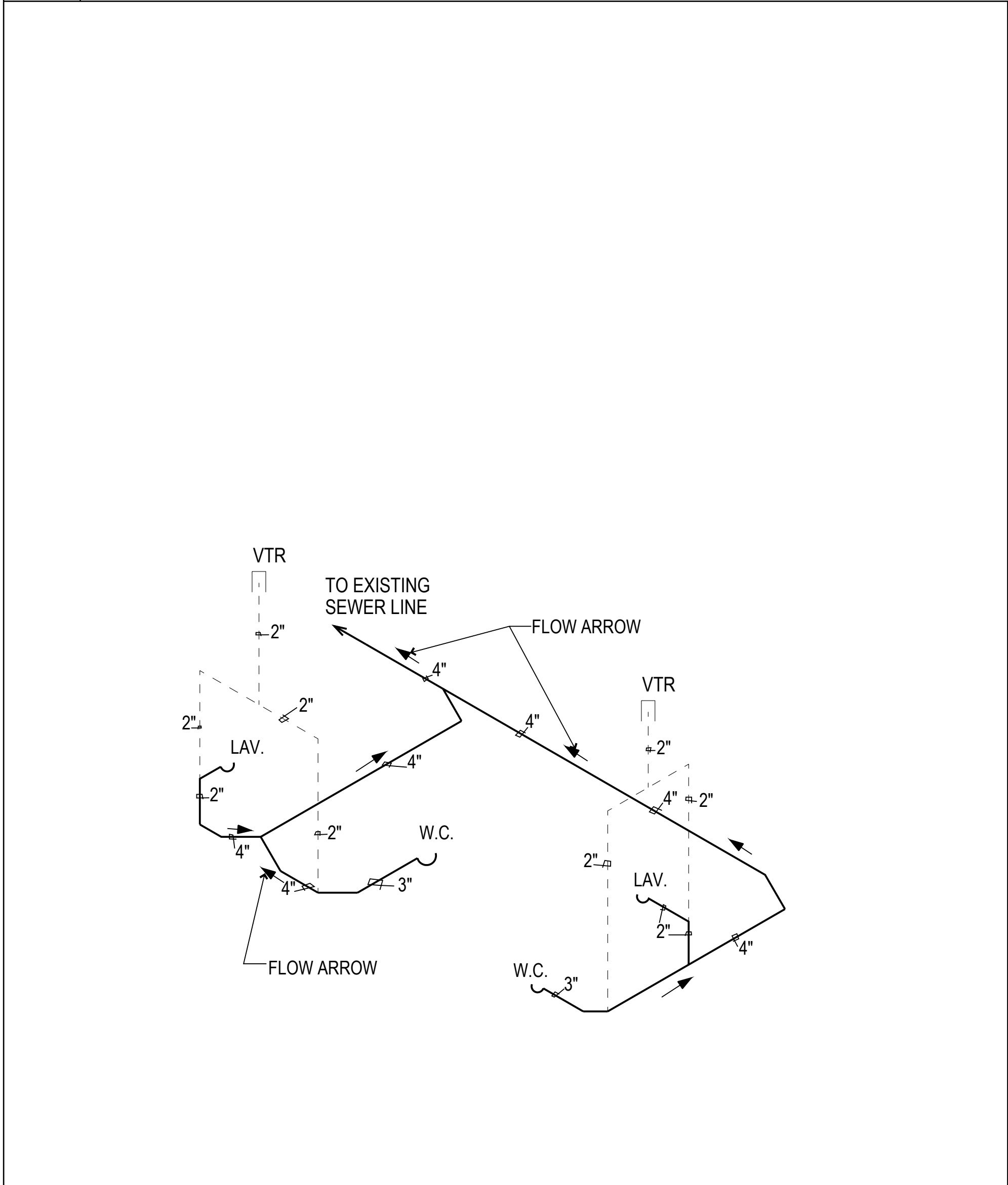
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E2.01



1	FIRST FLOOR PLUMBING LAYOUT (ENLARGEMENT) SCALE: 1/8" = 1'-0"
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PLUMBING NOTES:

A. THE PLUMBING SYSTEM FOR THIS WORK INCLUDES ALL COLD WATER DISTRIBUTION. VENTS, WASTES, AND PLUMBING ITEMS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.

B. THESE ITEMS AS INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE V.I. CODE AND THE AMERICAN STANDARD NATIONAL PLUMBING CODE, ASME.

C. DRAINAGE, WASTE, VENT, AND POTABLE SUPPLY TO CISTERN PIPES AND FITTINGS SHALL BE PVC, TYPE 1, RATED 160 PSI AT 73 DEGREES F.

2	UNISEX SEWER RISER DIAGRAM ROOM 106 & 108 NOT TO SCALE	3	UNISEX SEWER RISER DIAGRAM ROOM 120 NOT TO SCALE	4	PLUMBING NOTES NOT TO SCALE
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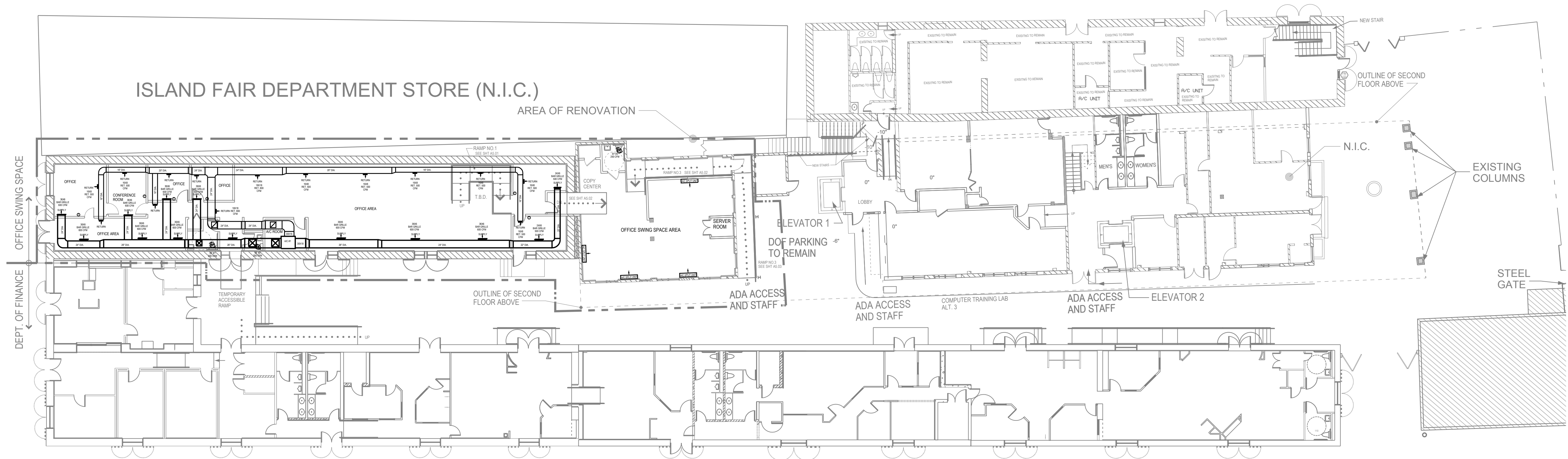
ISSUE FOR BID

FIRST FLOOR PLUMBING
LAYOUT, RISER DIAGRAM
& NOTES

REVISIONS	

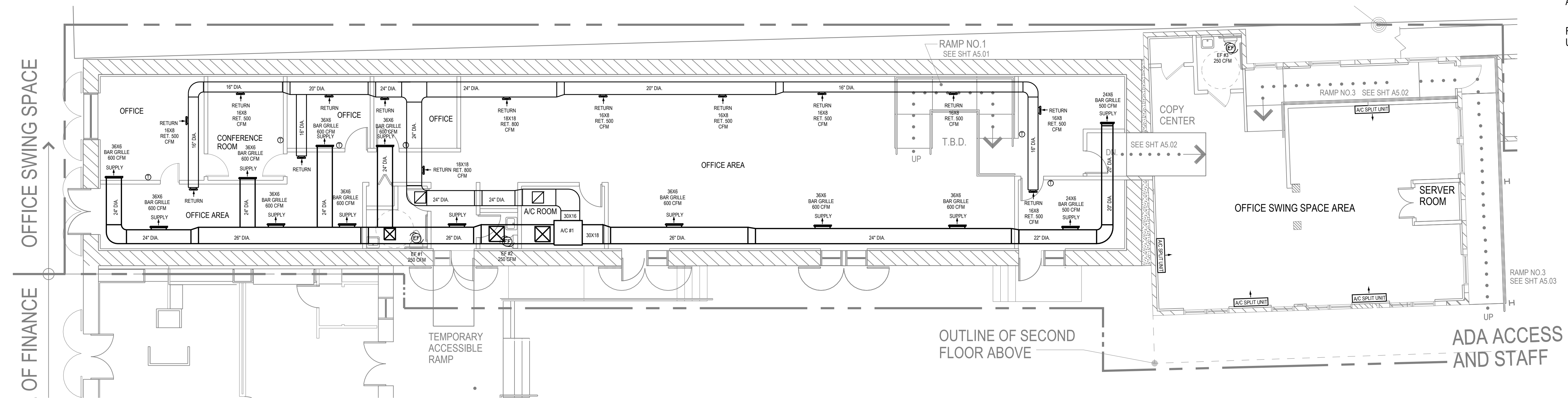
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DATE: 05/01/2018
JOB NO: 2017.1

P1.01



2 PROPOSED FIRST FLOOR AIR CONDITION LAYOUT

SCALE: 1/16" = 1'-0"



NOTE: 1

THE OFFICES SHALL HAVE EXPOSED DUCT WORK IN THIS AREA AND THE LOCATION OF CIRCULAR DUCT WORK NEEDS TO BE COORDINATED WITH THE PENDANT LIGHTING LAYOUT AS PER THE ARCHITECT'S APPROVAL.

FAN COIL LAYOUT SHALL BE DETERMINED UNDER MEP ALLOWANCE.

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PROPOSED FIRST FLOOR
AIR CONDITION LAYOUT

REVISIONS

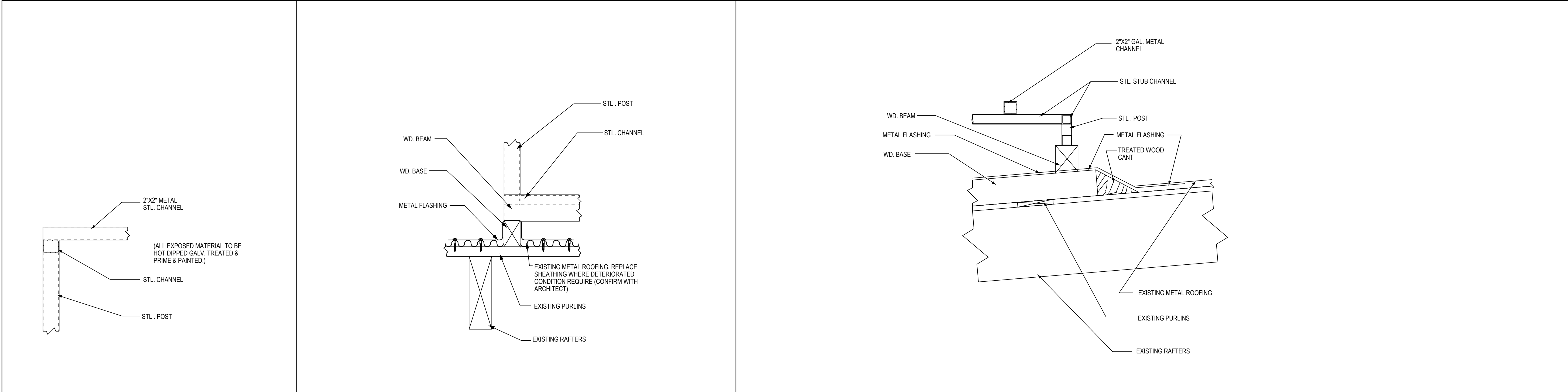
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DATE: 05/01/2018
JOB NO: 2017.1

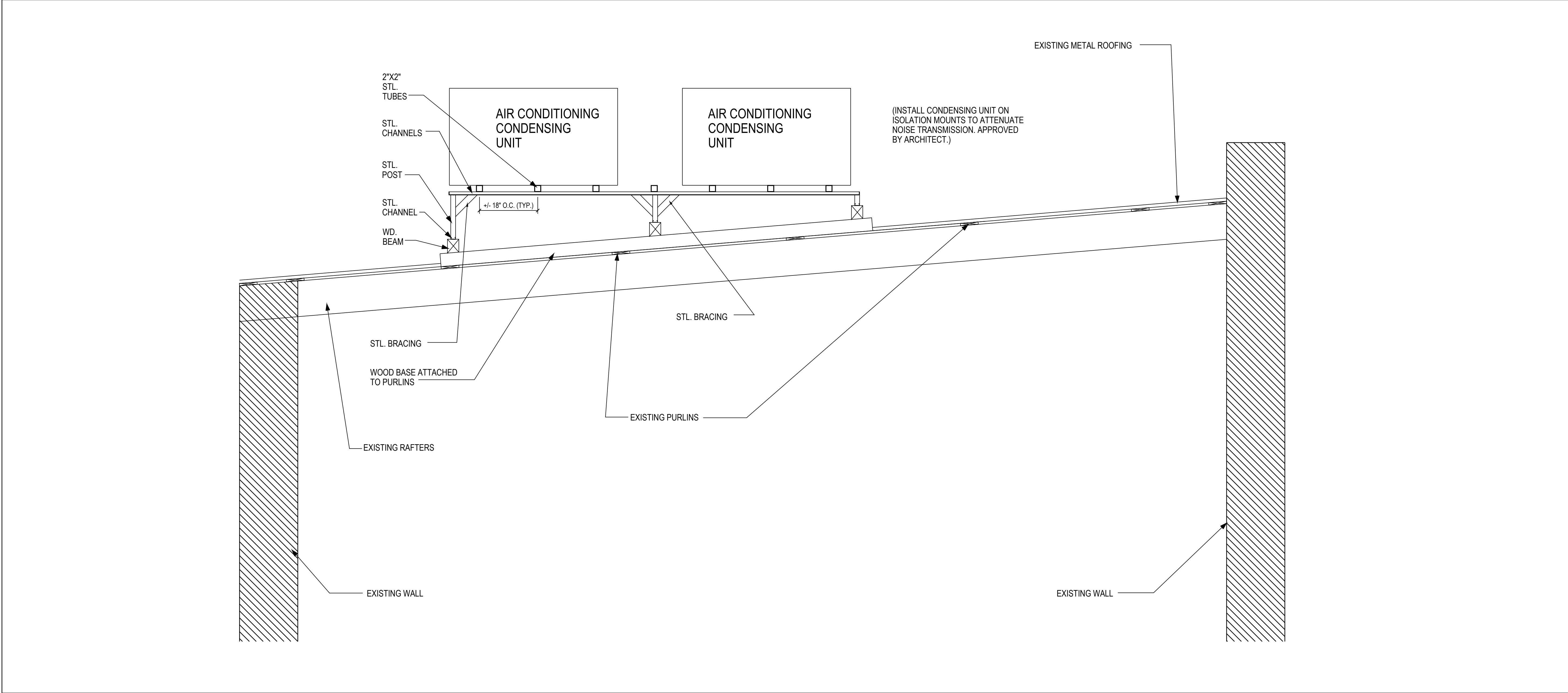
M1.01

2 PROPOSED FIRST FLOOR AIR CONDITION LAYOUT (ENLARGED PLAN)

SCALE: 1/8" = 1'-0"



1	AIR CONDITION ROOF DETAIL	2	AIR CONDITION ROOF DETAIL	3	AIR CONDITION ROOF DETAIL
SCALE: 1 1/2"=1'-0"		SCALE: 1 1/2"=1'-0"		SCALE: 1 1/2"=1'-0"	



4	AIR CONDITION ROOF SECTION
SCALE: 3/4"=1'-0"	



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AIR CONDITION
CONDENSING UNIT
RACK DETAIL

REVISIONS

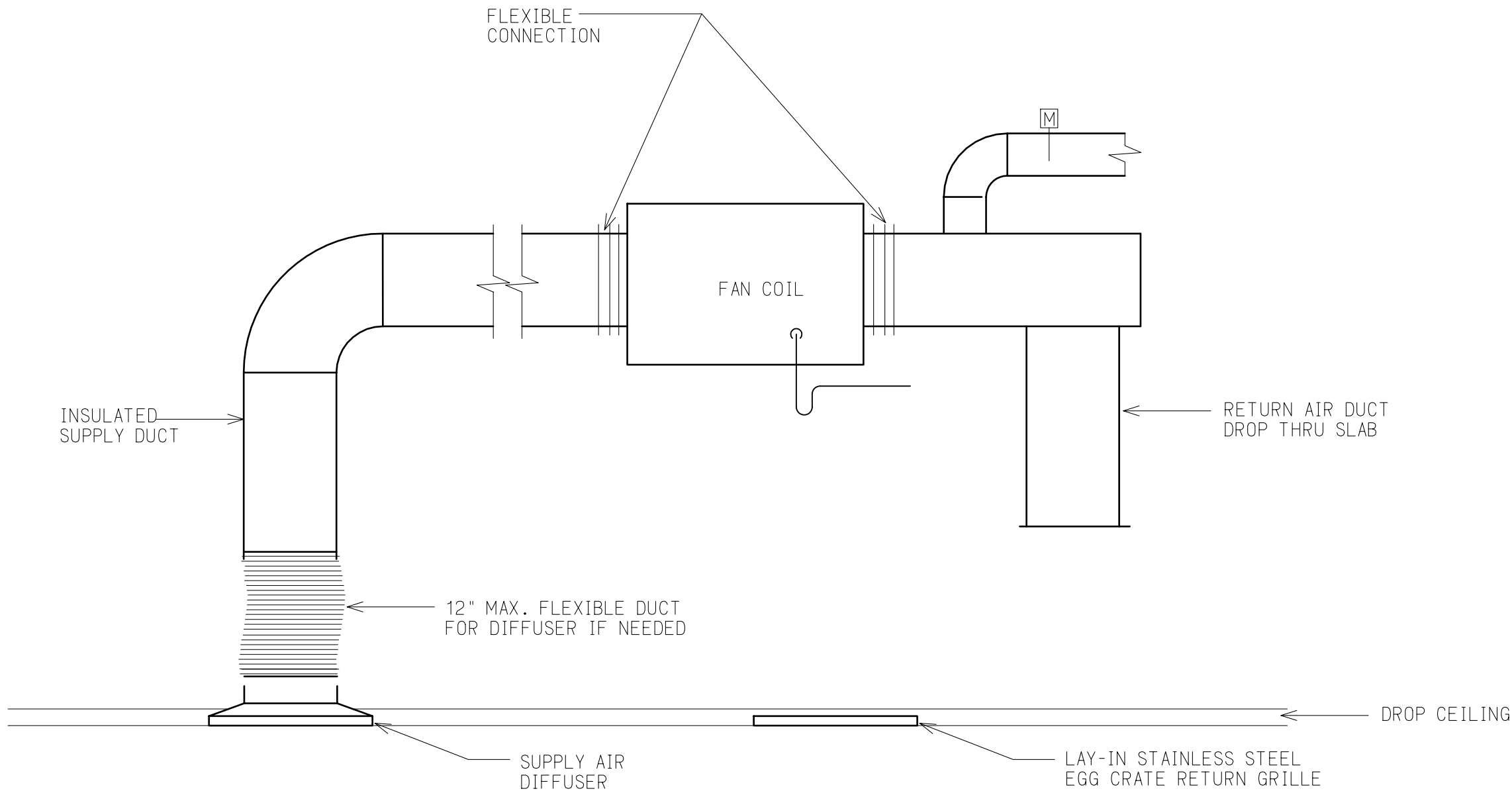
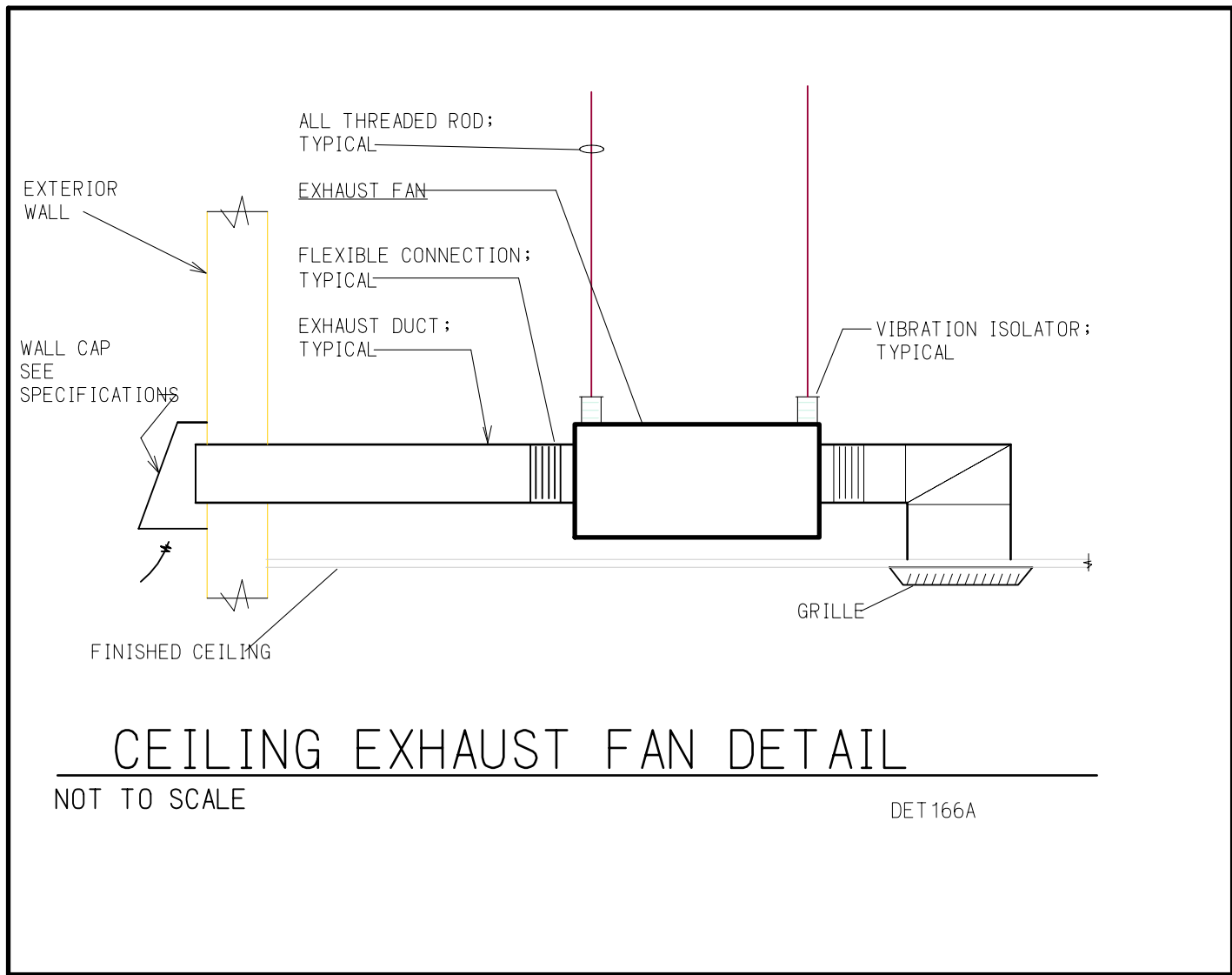
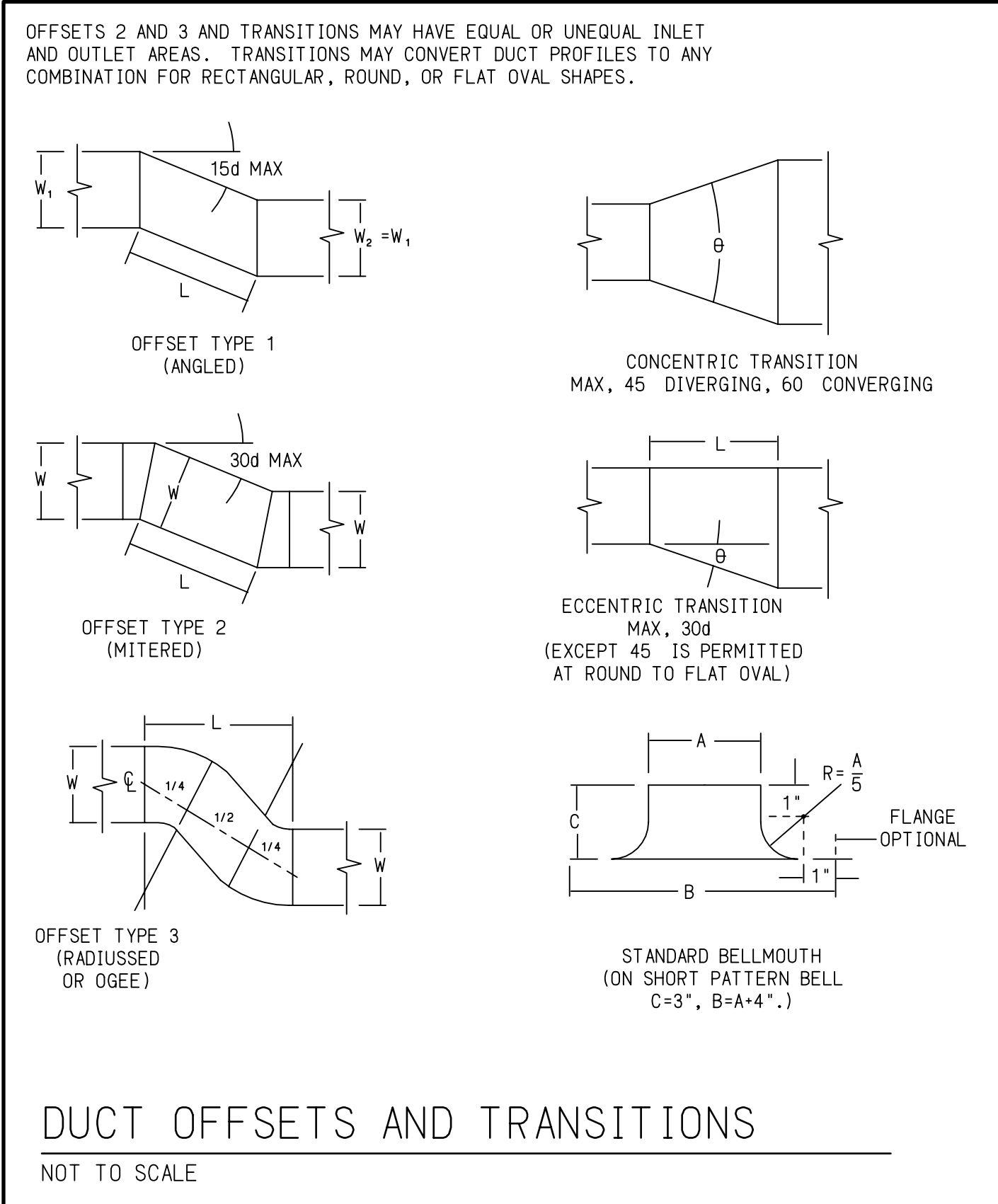
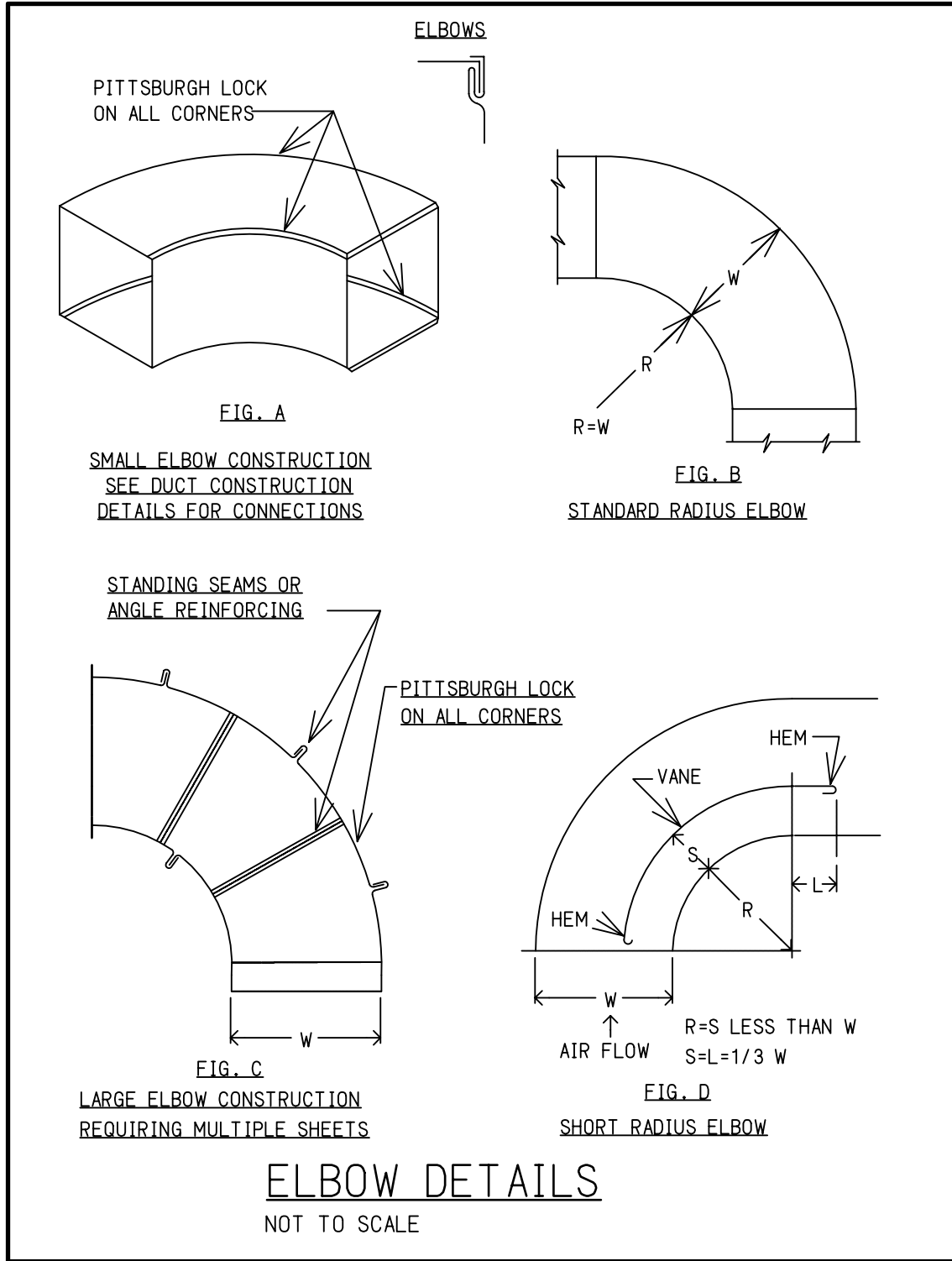
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M2.01



- GENERAL NOTES:
- Maximum N.C. values are based on Octave Band 1 through 8 sound power levels minus a room absorption of 10dB, re 10 to the -12 Watts.
 - Verify border requirements with all applicable architectural sheets, reflected ceiling plans, and room finish schedules.
 - All grilles, registers, and diffusers shall have visible sheet metal and ductwork painted flat black behind face.
 - Only Perforated Diffusers with Individually Dampened Deflectors Mounted in Neck will be acceptable. All parts of Diffuser behind Perforated Face will be Painted Flat Black by Manufacturer.
 - Provide square to round transitions, by Manufacturer, as required. Also see Plans.
- NOTES:
- Provide baked enamel finish, Color as selected by Architect.
 - Provide Anodized Color as selected by Architect and Debris Screen and Re-inforcing.
 - Extra heavy duty grille, color as selected by Architect.
 - Fan coil layout shall be determined under MEP allowance.



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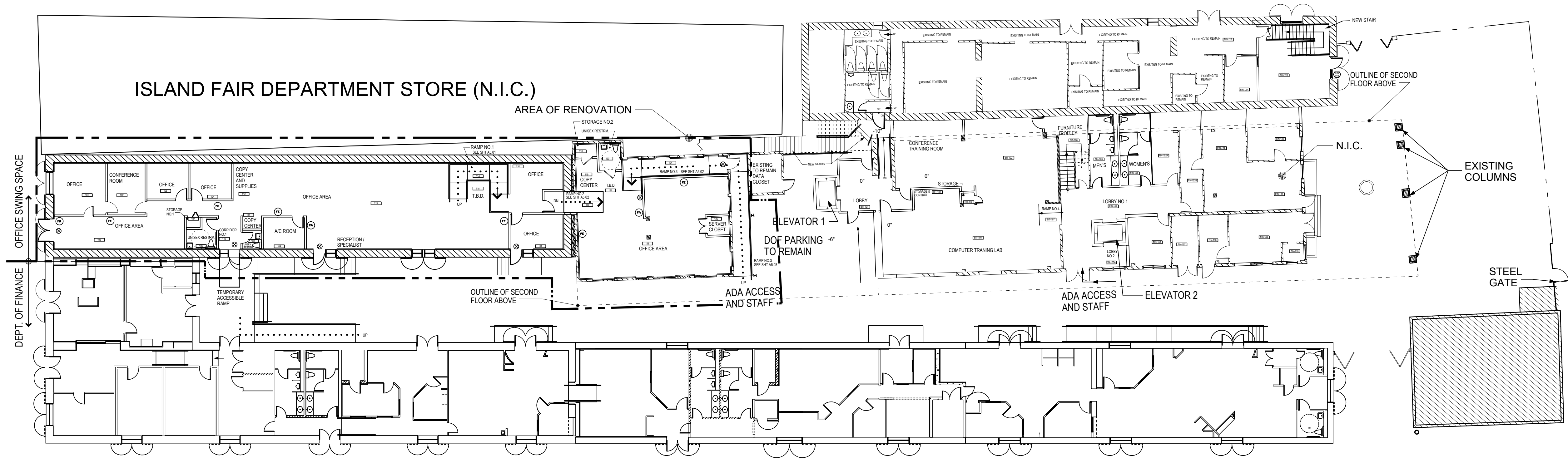
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AIR CONDITION
DETAILS AND NOTES

REVISIONS

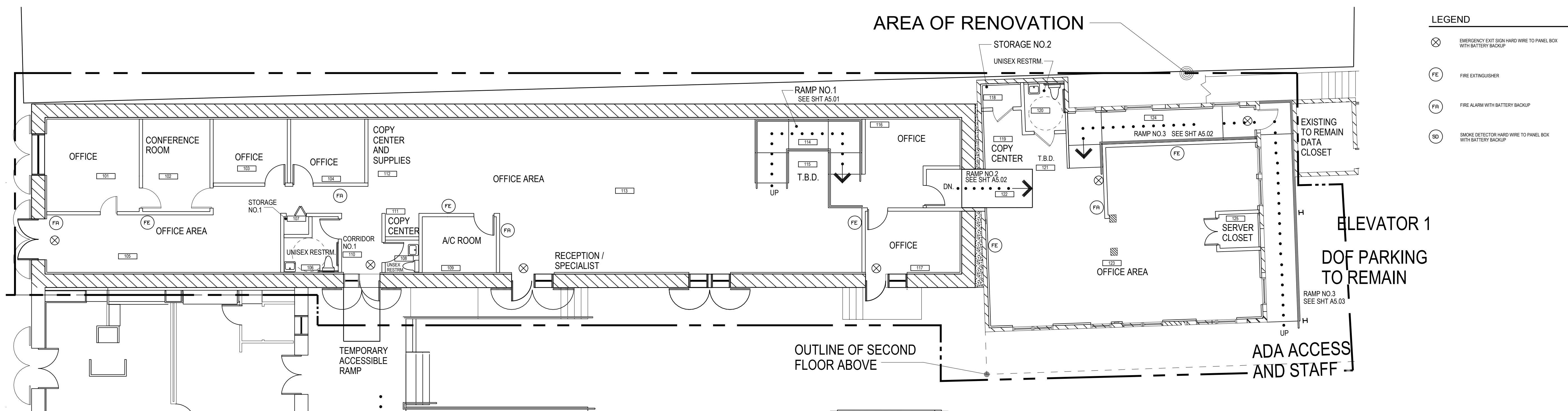
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JOB NO: 2017.1

M2.02



2 FIRST FLOOR FIRE SAFETY PLAN

SCALE: 1/16" = 1'-0"



2 FIRST FLOOR FIRE SAFETY PLAN

SCALE: 1/8" = 1'-0"

(ENLARGEMENT)

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FIRST FLOOR
FIRE SAFETY PLAN

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FE1.01